



4 Seasons Home Inspection, LLC

150 Maple Avenue, #128, South Plainfield, NJ 07080

www.4SeasonsHI.com 1-877-547-7383

Mr. Buyer

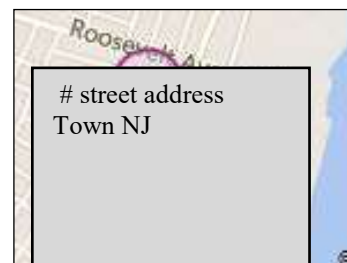
street

Town, NJ xxxxx

Please carefully read the following inspection report in its entirety and the Scope of Inspection. The inspection was a visual inspection and performed accordingly to the New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection. Inspection behind walls, ceilings, flooring or other covered surfaces is excluded from a visual home inspection. That would involve destructive measures to see behind them. The home inspection report and any other applicable reports (radon, wood destroying insects) are emailed to you, your attorney or realtor if indicated by initialing appropriate areas on last page of Pre-inspection agreement. If a hard copy was ordered on the last page of your agreement, then and only then will a hard copy be mailed via USPS. Please read all addenda and supplementary attachments. Pursuant to 13:40-15.2 Definitions "Home inspection report," all items in report must not be ignored where recommendations made regarding the need to repair, replace or monitor a system or component or to obtain examination or evaluation and analysis by a qualified professional, tradesman or service technician. Please call us with any questions or concerns that you may have so that they may be promptly answered before your closing. If recommendations not acted upon or followed up with sellers before closing, it will be solely your responsibility for repairs and costs incurred by not following report recommendations.

RECEIPT

Inspection Date: July 21, 2016 Thursday 10am- 2pm
Client Name: Bob Buyer(buyer@gmail.com)
Inspection Address: # Street, town, NJ xxxxx
Inspected by: Linda Geczi home inspection lic. #24GI00061500



BUILDING DATA

Approximate Age: 116+ yrs. (~ 1902 yr.)
Style: 2 family- obtain legal status from Boro before closing
Main Entrance Faces: N
State of Occupancy: 1 vacant (2nd/3rd FL), 1 occupied 1st FL
Weather Conditions: 85 °F
Ground cover: damp

Home Inspection:	\$---.00
Termite:	INCL.
Radon	\$---.00
Total:	\$ ----.00

Paid by: Check # 102

Cc: Lawyer

Overview and Main Concerns (p.2-5) and detailed report follow this page (6-79)

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

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Recommend qualified contractors or licensed professionals further evaluate, address defects and/or make repairs before closing and contractual limitations or obligations.¹ Responsibilities of repairs, negotiations, appraisals, property survey/boarders, mortgages, costs of repairs/estimates, advise on purchase, etc. **are not** part of a home inspection and should be discussed with your *Attorney*. Refer to Standards of Practice 13:40-15.16 and Pre-Inspection Agreement 13:40.15.15. **READ entire REPORT and recommendations.****

OVERVIEW- DISTRESSED HOME: The home had *structural concerns*; defects/deficiencies. There were sloped, warped, spongy, damaged flooring & sub flooring throughout the home (1st, 2nd, 3rd floors).* The basement and crawl spaces had joists & girder/main beams with sagging, twisted, cracks, improperly notched, cut away/damaged, warped, damaged columns, brick columns too far apart, sloped staircases, etc. There was wood destroying insect damage & evidence (termite tubes, carpenter ant & wood boring beetle frass, exit holes on framing (girder/beams, joists, sub flooring), mold-like substances, water leaks, *charred wood*(fire damaged)/sistered, improper/haphazard repairs (metal & wood), etc. Water leaks/damage, wood destroying insect damage (wood boring beetle/powder post, termite and carpenter ant) and charred wood/fire damage observed in crawl and basement. Obtain history for fire damage if possible; check boro fire department or boro records.* The home appears to have been changed to a 2 family and one water main for the home. Verify the *legal status* of the home as a 2 family dwelling. The home was *distressed, poorly maintained* and *uninhabitable*; no working heating systems (boilers), no hot water, deteriorated systems (plumbing & drains backing up, electrical, roofs, etc.), exterior, windows, doors, grading & drainage/wet basement & crawl spaces, etc. Leaking from roof, plumbing, grading & drainage, bathrooms & kitchens have damaged interior of the home. The home has not been maintained for a very long time and lack of upkeep, water/fire/wood destroying insect damage has affected the home's structure; defects & deficiencies observed.

A qualified building contractor and structural engineer (PE) must evaluate the home's structure, *systems and components* to determine the extent of water, fire, wood destroying and structural damage including all concealed damage (ex.- sills, rim joists, studs, sub flooring, finished flooring, rafters and framing components.). Have the building contractor and engineer (PE) discuss all repairs, corrections, mitigation of all systems. System or components include but not limited to roof/gutters/ventilation, siding, windows, doors, stair cases, heating/cooling, water heater, electrical panels/distribution/devices/lighting, grading & drainage, water management system/Fench drains, mold & asbestos evaluation/testing/mitigation, bathrooms & kitchens gutting/upgrades, plumbing/distribution/roof venting, walks, driveways, garage,etc. among others. Only qualified registered and insured contractors should perform the work or rehab the home with permits in accordance to the boro requirements. The home was very *"Distressed"* and should discuss a strategy or plan to prioritize and handle mitigation and restoration of systems and structure to proper building practices for safety and habitability. Discuss *all aspects* of taking on a *"Distressed Home"* with the building contractor, architect and/or structural engineer (PE) to formulate a plan that prioritizes the home's remediation including costs, permits and downtime (between township inspections and phases of construction). Understand that when walls & coverings exist in the home and are removed during renovations or repairs, there is "Always" a strong probability of concealed damage (Water/Mold/Structural/Wood destroying insect damage/etc.) that can extend the time to complete the renovations as well as the added costs to complete the tasks restoring the home with today's building practices. Below are some *highlights of the defects or deficiencies* found at time of inspection. Please read *entire report* for details and *example photos*.

1. **UNINHABITABLE:** There was no heat, no hot water, bathrooms, kitchen, flooring, electrical, etc. need gutting and system upgrades for safety and habitability. There were tenants on first floor at time of inspection. There were electric space heaters, no working stoves and no smoke and CO detectors; fire/life/safety hazards. Rehab of all systems and components must be done by registers and licensed contractors to restore the home to habitable or livable conditions.

2. **STRUCTURE (HOUSE & GARAGE)/ WOOD DESTROYING INSECTS:** The home fire damage/blackened/allegated floor joists & framing as viewed in rear crawl space. There was water & mold-like damage/leaks and wood destroying insect (termite, wood boring beetle, carpenter ant) in the home and garage. See separate NPMA-33 Wood Destroying Insect Report. Obtain all history for fire damage before closing from township/boro. There was extensive warped/spongy/bounce on flooring, canted walls/doorways/windows, sloped/tilted staircases, active leaking (roof, exterior/siding/trim, windows, plumbing, bathrooms & kitchen) throughout the home. The basement, crawl and garage were wet; seepage, leaking, plants/vegetation, etc. There was damaged foundation and brick columns; brick & mortar/powdery, deterioration, flaked, cracks, etc. Brick columns were far apart in main section of basement, sagging twisted beams or girder/damaged columns/ sagging floor joists, improperly notched joists, cracked joists & beams and wood boring beetles, carpenter ant and termite damage on beam (s), joists, sills, sub flooring, framing, etc. Recommend a structural engineer (PE) and a qualified building contractor evaluate the home's structure and determine extent of damage and repairs to structure (sub flooring & flooring, joists, sills, band/rim joists, girders/main beams, columns, etc.). All systems and components need repairs/upgrades throughout the home for habitability (plumbing, electrical, exterior, etc.). The home was distressed, defects/deficiencies observed and uninhabitable.

3. **PLUMBING/WATER HEATER:** The plumbing vent in rear was too short on upper roof and plumbing vents for 1st floor not visible or accessible. Recommend having all plumbing vents evaluated with roof and plumbing to ensure proper venting for all bathrooms and kitchens. The home had deteriorated plumbing, patched, improper repairs, disrepair, cracked open sewer lines, cut off/broken pipes, damaged bathrooms (shower stall, toilets, fixtures, etc.), leaking, mixed plumbing drain sizes, improper drain & piping sizes, dissimilar materials, old plumbing (piping, valves, fittings, fixtures, etc.). Leaking plumbing, bathrooms and kitchens observed with water & mold-like damage. Flooring/subflooring was spongy and floor deflection/ damage observed; evaluate by a structural engineer (PE). The water heaters were old, corroded and in poor condition and not working. Recommend a licensed plumber evaluate water heater and boilers for replacement; do not use/dangerous. There was no hot water and no heat in the home at time of inspection. The home has vacant Unit II on 2nd & 3rd floors and bathroom was severely damaged; cracked toilet/shower, water damage, mold-like, concealed damage, etc. Recommend a building contractor and licensed plumber evaluate the home for gutting and upgrades everywhere (plumbing, electrical, roof, water & mold damage/spongy flooring, damaged structure, wood destroying insect damage, bathrooms, kitchens, etc.); uninhabitable condition.

4. **HEATING/CHIMNEY:** There was an oil vent and filler on left side of the home. Recommend a property tank sweep and documentation for any removed tanks (permits, soil testing, etc.) as required by township. The two boilers were in poor condition, heavy corrosion, uncovered, holes, damaged and not running or working; dangerous/unsafe. There were electric space heaters visible in the home while walking around; fire hazard. There was no heating, no gas/stove/water heater in the home. Heating, plumbing and other systems and components were in deteriorated conditions; uninhabitable. The chimney was patched and very old; tarred and leaking. Recommend a building contractor, roofer and boiler contractor/plumber evaluate the chimney for removal below roofline and replacement of boilers for sidewall or direct venting to exterior. There was asbestos like insulation on heating pipes in crawl or home. Recommend an asbestos contractor evaluate all asbestos like material and advise on removal; beyond the scope of a home inspection.

5. **ROOF & STRUCTURE/VENTILATION/GUTTERS:** The roofs (house & garage) were in poor condition, active leaks, flaking, broken/holes, deteriorated, water & mold-like damage in the interior rooms, damaged eaves & soffits, lack of ventilation, etc. The plumbing vent on upper right roof was too short and no other plumbing vents visible or accessible. Recommend a licensed plumber evaluate the plumbing vents and ensure proper venting (sizes, numbers, etc.) for all bathrooms and kitchens. The roof needs to be torn off to expose all concealed damage. There was sheathing damage partial view in kneewall in 3rd floor front bedroom. There was insulation on rafters, limited view. There was extensive damage in garage; roof structure, sheathing, rafters, etc. Recommend a building contractor or qualified roofer evaluate roofs for tear off, roof ventilation and determine extent of all water & mold-like damage including concealed damage (ex.- roof sheathing, rafters, walls, framing, joists, drywall, etc. among others). Replace gutters & extend away from house with the roof installation & structure repairs. The home was not maintained in all systems for a very long time and water & mold damage must be addressed immediately to stop water entry into the home & damage. Interior rooms in the home had spongy, warped, rotted flooring & subflooring. Water sources from roof, windows, exterior siding plumbing leaks, etc. have damaged interior flooring, subflooring.

6. **ELECTRICAL/PANELS/KNOB & TUBE:** There were 3 electrical meters; two in basement and one on exterior of detached garage. There were scorch marks/discoloration insulation, excess exposed conductors on breaker connections, rust, sloppy wiring, and frayed cloth insulation in main panels. The garage meter, service drop and panel was in poor/unsafe condition; panel open and corroded out; unsafe. There was handyman/improper wiring/electrical installations, loose devices/cables/wires, knob & tube (K&T) remnants and possible live K&T, painted over outlets, cracked/damaged, missing covers, ungrounded, reversed polarity, missing GFCI outlets, inaccessible outlets, overloaded outlets/extension cords, space heaters used (no heat in home/fire hazard), etc. There were roof leaks and water coming through or around electrical light fixtures and wiring; shock hazard/dangerous. The home electrical upgrades/gutting everywhere; poorly maintained home and haphazard electrical, plumbing, repairs everywhere. Recommend a licensed electrician evaluate the homes service (panels/service drops/meters), electrical panel distribution, wiring, devices, fixtures, outlets, switches, power requirements, dedicated outlets, etc. and advise on costs for electrical upgrades everywhere. Shock hazards and potential fire hazards exist.

7. **WINDOWS/DOORS/SIDING/TRIM/SMOKE & CO:** The rear of house had an addition, bumped out or structural modifications. The exterior siding/trim/windows/etc. were old and not well maintained. There was exposed wood, rot, missing trim, missing flashings, damaged soffits/eaves, etc. Recommend a building contractor evaluate exterior and advise on all repairs/replacements (siding, trim, windows/frames, roof/gutters/ventilation, etc.). Obtain all closed permits for addition as required by the township before closing. There were no smoke & CO detectors in the home; have evaluated by the township/boro for requirement.
 8. **MOLD/ASBESTOS/LEAD/ENVIRONMENTAL:** Recommend an environmental contractor evaluate all mold-like, asbestos & other substances in the home and garage. Mold, asbestos, lead, etc. is beyond the scope of a home inspection.
 9. **FIRE DAMAGED WOOD/CRAWL:** There was blackened/scorched/charred wood in rear crawl space; fire damaged. Flooring was warped and spongy in the home. Obtain all history for fire & water damage before closing from township/boro. All structure must be evaluated by a structural engineer (PE) and advise on all repairs.
 10. **GRADING & DRAINAGE/WET BASEMENT, GARAGE & CRAWL SPACES/ETC:** There was poor grading & drainage around the house and garage. There was wet basement, crawl space and garage; wet conditions, water & wood destroying insect damage observed. See separate NPMA-33 wood destroying insect report. Recommend removing all trees close to the home; thick/overgrown. There were trees/overgrowth too close to house and garage; remove where too close. Trim back or cut away trees, shrubs and branches away from house. Remove trees and or branches too close to roof, structures and electrical cables/communication lines for safety. Overhanging trees and overgrowth can cause mechanical damage, moss, algae, attract carpenter ants, raccoons, squirrels or other animals.
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¹ **Pursuant to NJAC 13:40-15.2 Definitions:**

"Material defect" means a condition, or a functional aspect, of a structural component or system that is readily ascertainable during a home inspection that substantially affects the **value, habitability, or safety of the dwelling**, but does not include decorative, stylistic, cosmetic, or aesthetic aspects of the system, structure or component.

**** Any and All recommendations noted in this report either written or verbal, advised either further evaluation, repair and/or replacement should be completed prior to the home inspection contingency expiring and/or any other contractual obligation expires.****

REPORT OVERVIEW

THE HOUSE IN PERSPECTIVE

CONVENTIONS USED IN THIS REPORT- ALL SYSTEMS IN HOME MUST BE SERVICED YEARLY AND PROPERLY MAINTAINED AND UPGRADED AS THEY AGE

SATISFACTORY - Indicates the component is functionally consistent with its original purpose but show signs of normal wear and tear and deterioration and will need maintenance or repairs at any time over its life. Plan and budget for these repairs, replacement and upgrades. Have systems serviced regularly and maintained.

MARGINAL *- Indicates the component needs repairs, upgrade, monitor and/or replacement anytime over its life. Plan and budget for these repairs, replacement and upgrades. Defects exist- have evaluated and repaired.

POOR* - Indicates the component needs repair or replacement now. Defects exist- have evaluated and repaired.

SAFETY HAZARD* - Denotes a condition that is unsafe and in need of prompt attention now

***NOTE:** All observations or comments reported in this written report should obtain examination and analysis by a qualified professional, tradesman or service technician for that concern, defect or repair prior to closing for cost of repair, replacement or upgrade.

THE SCOPE OF THE INSPECTION (READ & UNDERSTAND)

All components designated for inspection in the **New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection** except as may be noted in the "Limitations of Inspection" sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. This inspection should not be considered as an opinion or as advice as whether or not to purchase the property. Not all recommendations will be identified during this inspection. It is not our job or function to fix or solve a problem. We report on the conditions at time of inspection and recommend a specialist to further evaluate and advise on cost of repairs or remedy. Home inspectors are "Generalists" not experts or builders. A home inspection is not a CODE inspection. ****A certificate of occupancy or habitability should be obtained before closing. Township code officers perform code inspections for that certificate; not home inspectors.*** Code issues may arise that need corrections that are not part of a general home inspection and should be addressed before closing. Unexpected repairs as well as maintenance should still be anticipated. All systems and building structure will age and need repairs regardless of the age of home. Plan and budget accordingly. The inspection is not considered a guarantee or warranty of any kind. It is a snap shot in time and conditions will change with time. A "Home Warranty" is readily available from most realtor offices or on the market to help defray the cost of repairs during the life of a home. We strongly recommend this and all other forms of service plans for HVAC and insurance on sewer and water main lines.

In addition to the NJ standards, please refer to the pre-inspection agreement/contract according to NJAC 13:40-15.15, for a full explanation of the scope of the inspection. All reported items of consideration in this report must be addressed for repair evaluation and cost prior to closing. Any conditions concealed, latent, inaccessible or covered up at time of inspection are NOT the responsibility or liability of the home inspector or company. Walls, ceilings, carpeting, or other forms of coverings or finished surfaces cannot be removed during a non-invasive home inspection. Therefore, to see into walls and below surfaces can only be done with a contractor that can perform invasive inspections. We cannot guess or comment on anything behind coverings and report on non visual or concealed areas. There is always a chance for concealed damage or mold or other structural concerns within walls, floors and ceilings. **If you are not satisfied with a visual inspection, it is recommended to engage in those services that can open up walls, ceilings or flooring before closing since it cannot be done in a visual home inspection.** This is under the law in the New Jersey Standards of Practice 13:40-15.16 for a licensed home inspector in the state of New Jersey.

.We Always Miss Some Minor Things

The intent of the inspection is not to find minor problems or cosmetic items. It is to find major problems or defects. The minor problems that are identified were discovered while looking for more significant problems. We may note them simply as a courtesy.

Not Insurance or Warranty

In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy or warranty.

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GROUNDS

SERVICE WALKS None *Public sidewalk needs repair*
Material: Concrete Flagstone Gravel Brick Other
Condition: **Lifted** Marginal Poor **Trip Hazard**
 Deteriorated *Settling cracks* Not visible Typical cracks

DRIVEWAY/PARKING None
Material: Concrete Asphalt Gravel/Dirt Brick Other
Condition: Satisfactory Marginal **Poor** Fill cracks and seal
 Pitched towards home *Trip hazard* *Cracked/damaged*

PORCH (COVERED ENTRANCE) None
Support Pier: Concrete Wood Not visible **Structural defects observed in crawl below**
Condition: Satisfactory Marginal **Poor** *Railing/Balusters recommended*
Floor: Satisfactory Marginal **Poor** *Safety Hazard*

STOOPS/STEPS None *Uneven risers*
Material: Concrete/Brick Wood Other *Railing/Balusters recommended*
Condition: Water damaged Poor *Cracked* *Settled*
 Rotted/Damaged *Safety Hazard*

PATIO None

DECK/BALCONY (*flat, floored, roofless area*) None

DECK/PATIO/PORCH COVERS None *Earth to wood contact* *Moisture/Insect damage*

FENCE/WALL Not evaluated in a home inspection None

LANDSCAPING AFFECTING FOUNDATION (*See remarks page*)

Negative Grade: East West North South Poor grading & drainage

Recommend additional backfill *Recommend window wells/covers*

Trim back trees/shrubberies away from house & garage- too close to structures

Wood in contact with/improper clearance to soil Yard drains observed - not tested

NOTE: *Sink holes and other Geological issues are NOT part of a general home inspection*

13:40-15.16 (f)1(v) Standards of practice

v. Vegetation, grading, drainage, and retaining walls with respect to their immediate detrimental effect on the condition of the residential building, excluding fences, geological and/or soil conditions, sea walls, break-walls, bulkheads and docks, or erosion control and earth stabilization;

RETAINING WALL None **Material:** *Drainage holes recommended*

HOSE BIBS None or not visible/thick brush/trees/overgrowth No anti-siphon valve

Operates: Yes No Not tested Not on

GENERAL COMMENTS

GROUNDS: There was an oil filler & vent on left side of the home in the thick overgrown brush/trees. Recommend a property tank sweep to rule out any buried oil tanks. The walks were older, cracks and lifted; trip/fall hazards. The driveway was old, cracks, grass/weeds and broken; trip hazard. Recommend a driveway contractor and mason evaluate/repair/replace driveway and walks, Recommend level clean and maintained walks and driveway or walking surfaces for safety. There was poor grading & drainage around the house and garage. There was wet basement, crawl space and garage; wet conditions, water & wood destroying insect damage observed. Recommend maintaining a positive pitch of soil around foundation for proper water drainage. Stones, mulch and vegetation are not recommended around foundation; tends to trap water against foundation and cause wet basements. Recommend removing all trees close to the home; thick/overgrown. There were trees/overgrowth too close to house and garage; remove where too close. Trim back or cut away trees, shrubs and branches away from house. Remove trees and or branches too close to roof, structures and electrical cables/communication lines for safety. Overhanging trees and overgrowth can cause mechanical damage, moss, algae, attract carpenter ants, raccoons, squirrels or other animals. Recommend window well covers for all basement windows to keep out water, ice snow and avoid wet basement. Recommend replacing gutters with the roofs. Recommend upsizing gutters to larger (~6") uncovered, no screens, etc. for better water collection and distribution of water away from house and foundation.

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See roofing section comments. Clogged gutters can cause leaking & damage to interior or where concealed in walls. Discuss auto sensed gutter heat elements for winter with a gutter company or building contractor to detect ice and melt frozen water in gutters in winter or cold months.

CONCERNS:

1. There was an oil filler & vent on left side of the home in the thick overgrown brush/trees. Recommend a property tank sweep to rule out any buried oil tanks.
2. There was poor grading & drainage around the house and garage. There was wet basement, crawl space and garage; wet conditions, water & wood destroying insect damage observed. Recommend maintaining a positive pitch of soil around foundation for proper water drainage.
3. Recommend removing all trees close to the home; thick/overgrown. There were trees/overgrowth too close to house and garage; remove where too close. Trim back or cut away trees, shrubs and branches away from house. Remove trees and or branches too close to roof, structures and electrical cables/communication lines for safety. Overhanging trees and overgrowth can cause mechanical damage, moss, algae, attract carpenter ants, raccoons, squirrels or other animals.

ROOF

ROOF VISIBILITY All Partial None Limited by: Angle

INSPECTED FROM Roof Ladder at eaves Ground (*Inspection Limited*) With Binoculars

STYLE OF ROOF

Type: Gable Hip Mansard Shed Flat Other
Pitch: Low Medium Steep Flat

ROOF COVERING

Roof #1: Type: **Asphalt shingles** Estimated Layers*: 2 **Approximate age of cover: past life- leaking**
Roof #2: Type: **rolled asphalt** Estimated Layers*: not visible **Approximate age of cover: past life- leaking**

Layers- only the visible layers; drip edges can conceal additional layers.*

NOTE: It is always recommended to obtain roofing information on brand and warranty due to current concerns with some GAF and other manufacturer's architectural roof shingles involved in a class action suit to err on side of caution. Often it cannot be determined by visual inspection. Age of roof is only an approximation. Installer's paperwork is only proof of age.

VENTILATION SYSTEM **Type:** Soffit Ridge Gable Roof
Appears Adequate: No Turbine Powered More ventilation recommended
(See Interior remarks page) (See Attic section)

Need more Ventilation to avoid mold-like substances, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage and shortening life of roof.

FLASHING

Material: Galv/Alum Asphalt Not visible Rubber
Condition: Not visible Satisfactory Marginal Poor Rusted
 Separated from chimney/roof/tarred/leaking Recommend Sealing Other

VALLEYS Not visible N/A **Material:** Galv/Alum Asphalt Lead Copper

CONDITION OF ROOF COVERINGS **Roof #1:** Poor- replace now/leaking/damage
Roof #2: Poor- replace now/leaking/damage

Condition: Curling Cracking Ponding Burn Spots Broken/Loose Tiles/Shingles
(POOR) Nail popping Granules missing Alligatoring Blistering Missing Tabs/Shingles/Tiles
 Moss buildup Exposed felt Cupping Incomplete/Improper Nailing
 Tarred roof- cracks, **leaking** Holes/daylight in roof- extensive damage
 Multi-layer roof- not recommended Need more Ventilation to avoid mold, condensation, heat build-up, sheathing/structure damage

READ THIS NOTE: All roofs if not in perfect **LEAK –FREE condition**, water can and will leak into a home, causing damage, and mold. Anything checked off above in conditions section must be addressed or corrected and evaluated by a qualified roof prior to closing. Plan for yearly repairs and roof replacement. Obtain the roof warranty from sellers. Water damage and mold can be concealed behind walls, ceilings or any other covering that cannot be seen during a Visual Home Inspection. Refer to the NJ Standards of Practice sent with your Pre-Inspection contract. If you have any concerns, you must engage in a contract with a licensed contractor to open up walls, ceilings, flooring or other cladding or covering by arranging it with the sellers before closing to rule out hidden problems, mold or other water related issues. There are costs associated with this type of invasive investigation. This will involve destructive means that is beyond the scope of a general visual home inspection under New Jersey law. See siding section for similar comments about hidden damage.

MULTI-LAYER ROOFS: Multi-layers will shorten life of existing roof. There are many disadvantages of having multi-layer roofs even though it may be acceptable in many municipalities across New Jersey. Multi layers wear faster or shorten the current roof layer because of the uneven surface that it was laid over. These roofs are heavier and increase the dead load thereby placing the roof structure under greater load often causing deflection. Deflection was observed from street or distance looking at roof. Multi layers (ML) are more inclined to have shingles blow off especially if nails cannot penetrate the roof decking. The key factor or weakness in ML layer roofs are the fact that flashings are not replaced without stripping off roof. This makes the roof vulnerable in areas where old flashings remain and often tarred over. The sun's UV rays cracks tar year to year and water leaks in these areas. ML roofs tend not to dry out sufficiently and thus accelerating the ageing or deterioration of the newest layer. Flashings are the most important detail of a well installed roof to help protect the junctures and penetrations from water entry. A ML roof lacks new flashings since it was not striped off for their installations. ML roofs will make attic hotter, trap moisture and cause sheathing damage, rot and mold due to trapped heat and moisture. Roofs should have more or maximum ventilation. Have roof, ventilation and gutters evaluated by qualified roofer before closing.

SKYLIGHTS N/A Cracked/Broken Not visible Cloudy or overcast; limited visibility
PLUMBING VENTS Yes No Poor- too short & not visible in areas. Recommend a licensed plumber evaluate home to ensure proper venting, number of vents for the bathrooms and kitchens in the home at time of roof installation and gutting/renovations. The home needs gutting and renovations; poor condition/uninhabitable.

Recommend roofer evaluate and advise on costs roof tear off, ventilation, gutters and concealed water & mold-like damage (ex.- rafters, sheathing, studs, flooring, drywall, etc.) Not Visible

Conditions reported above reflect visible portion only

GENERAL COMMENTS

ROOF: The roofs (house & garage) were in poor condition, active leaks, flaking, broken, deteriorated, water & mold-like damage in the interior rooms, damaged eaves & soffits, lack of ventilation, etc. The plumbing vent on upper right roof was too short and no other plumbing vents visible or accessible. Recommend a licensed plumber evaluate the plumbing vents and ensure proper venting (sizes, numbers, etc.) for all bathrooms and kitchens. The roofs need to be torn off to expose all concealed damage. There was sheathing damage partial view in kneewall in 3rd floor front bedroom. There was insulation on rafters, limited view. Recommend a building contractor or qualified roofer evaluate roof for tear off, roof ventilation and determine extent of all water & mold-like damage including concealed damage (ex.- roof sheathing, rafters, walls, framing, joists, drywall, etc.). Replace gutters & extend away from house with the roof installation & structure repairs. The home was not maintained in all systems for a very long time and water & mold damage must be addressed immediately to stop water entry into the home & damage. Rooms in the home had spongy, warped, rotted flooring & subflooring. Water sources from roof, windows, exterior siding plumbing leaks, etc. have damaged interior flooring, subflooring. See structural, siding and plumbing comments. Multi-layers will shorten life of existing roof. There are many disadvantages of having multi-layer roofs even though it may be acceptable in many municipalities across New Jersey. Multi layers wear faster or shorten the current roof layer because of the uneven surface that it was laid over. These roofs are heavier and increase the dead load thereby placing the roof structure under greater load often causing deflection. Deflection was observed from street or distance looking at roof. Multi layers (ML) are more inclined to have shingles blow off especially if nails cannot penetrate the roof decking. The key factor or weakness in ML layer roofs are the fact that flashings are not replaced without stripping off roof. This makes the roof vulnerable in areas where old flashings remain and often tarred over. The sun's UV rays cracks tar year to year and water leaks in these areas. ML roofs tend not to dry out sufficiently and thus accelerating the ageing or deterioration of the newest layer. Flashings are the most important detail of a well installed roof to help protect the junctures and penetrations from water entry. A ML roof lacks new flashings since it was not striped off for their installations. ML roofs will make attic hotter, trap moisture and cause sheathing damage, rot and mold due to trapped heat and moisture. Roofs should have more or maximum ventilation. Obtain the closed permits for when replacing the roof. All roofs will need repairs at some point during the life of the roof; expect these and plan for them. Only a roofer should make repairs and not a handyman or non-roofer. Always check roofs after rains, high winds or severe weather including winter storms. Ice and snow build-up in gutters can cause leaks in the interior; keep gutters cleaned and flowing year round for proper drainage.

CONCERNS:

1. The roofs (house & garage) were in poor condition, active leaks, flaking, broken, deteriorated, water & mold-like damage in the interior rooms, damaged eaves & soffits, lack of ventilation, etc. The plumbing vent on upper right roof was too short and no other plumbing vents visible or accessible. Recommend a licensed plumber evaluate the plumbing vents and ensure proper venting (sizes, numbers, etc.) for all bathrooms and kitchens. The roof needs to be torn off to expose all concealed damage. There was sheathing damage partial view in kneewall in 3rd floor front bedroom. There was insulation on rafters, limited view. Recommend a building contractor or qualified roofer evaluate roof for tear off, roof ventilation and determine extent of all water & mold-like damage including concealed damage (ex.- roof sheathing, rafters, walls, framing, joists, drywall, etc.). Replace gutters & extend away from house with the roof installation & structure repairs. The home was not maintained in all systems for a very long time and water & mold damage must be addressed immediately to stop water entry into the home & damage. Rooms in the home had spongy, warped, rotted flooring & subflooring. Water sources from roof, windows, exterior siding plumbing leaks, etc. have damaged interior flooring, subflooring. See structural, siding and plumbing comments. Obtain the closed permits for when replacing the roof.







Figure 1 Roofs in poor condition; leaking into interior, water damage, etc. Have all water, mold-like and structure damage determined by building contractor and roofer.



Figure 2 Roofs on home and garage were in poor condition, leaking and damage in interior and concealed areas.







Figure 3 Water leaking through a ceiling light; dangerous.



This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

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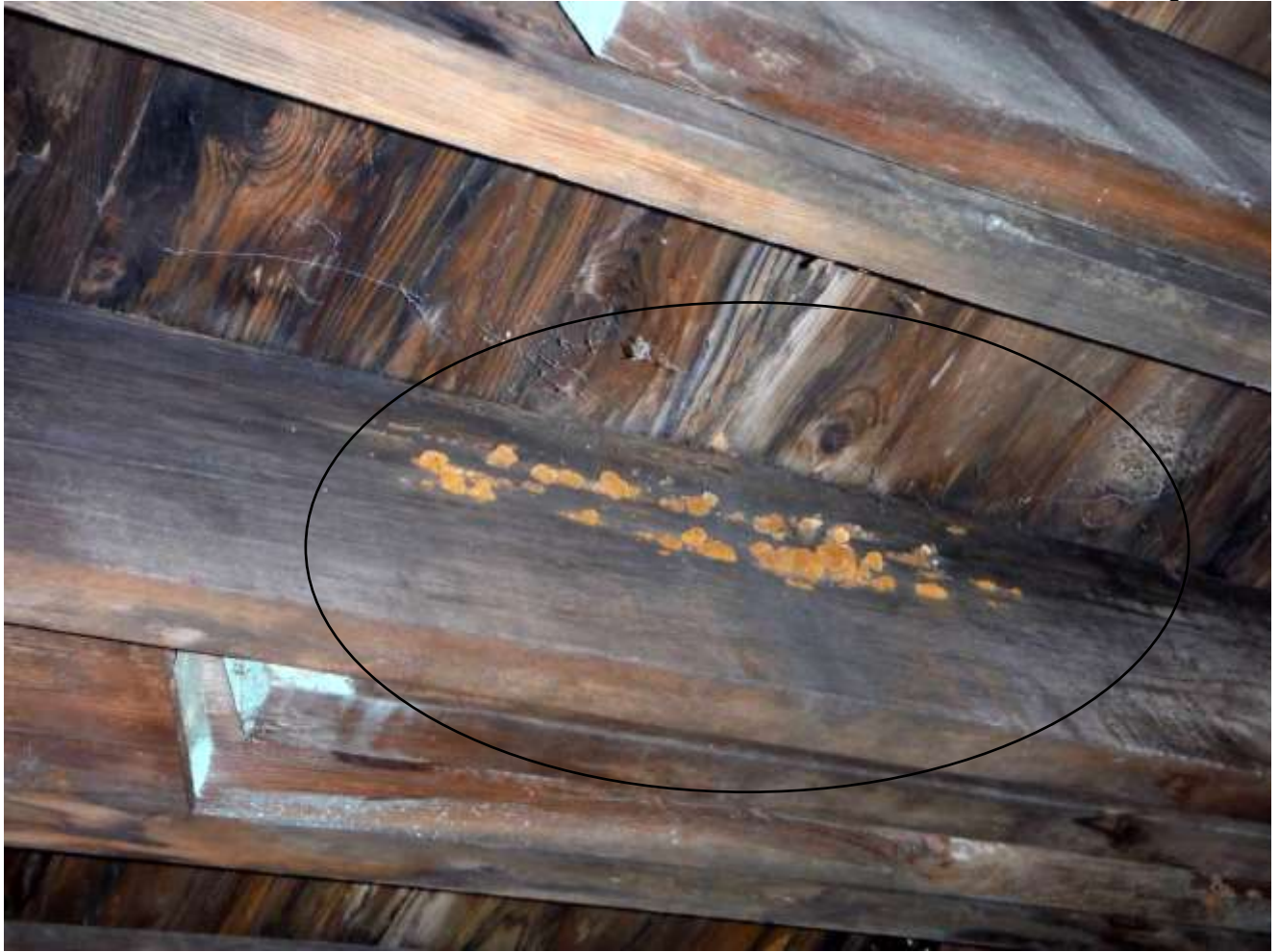


Figure 4 Orange mold-like substances on roof structure; water damaged/rotted/mold-like. Roof have severe water damage; recommend a building contractor evaluate roof structure and roof for tear off/replacement, gutters, ventilation and extent of structural damage & repairs.



Figure 5 Holes/daylight in garage roof everywhere; extensive damage to roof /structure; have a roofer & building contractor evaluate & advise on tear off & mitigation/rehab.





Figure 6 Roof deteriorated; daylight, leaks, rot, damage everywhere. Recommend a building contractor evaluate advise on roof structure & roof removal/replacement.

CHIMNEY/GUTTERS/SIDING/TRIM**CHIMNEY(S)** None Location(s): **left side****Viewed From:** Roof Ladder at eaves Ground with binoculars**Note:** Chimney inspection is very limited during a home inspection. Sections at top, cap, liners are often not visible. Level II chimney inspection is always recommended prior to closing to fully inspect the chimney.**Rain Cap/Spark Arrestor:** Yes No **Recommended****Chase:** Cemented over original- inaccessible poor condition Framed**Evidence of:** Cracks, staining Cracked chimney cap flaked cement Leaning chimney**Flue/Liner:** Tile Metal **Unlined** Not visible**Evidence of:** Scaling Cracks Creosote **Not evaluated (See remarks page)** **Have flue(s) cleaned and re-evaluated** **Recommend Cricket/Saddle/Flashing****Condition:** Satisfactory Marginal Poor**GUTTERS/SCUPPERS/EAVES TROUGH** Dirty, clogged or poorly maintained gutters will cause leaks into interior or behind walls. Clean often and checked frequently. **Needs to be cleaned yearly or more often** **Downspouts missing** An ice dam is a ridge of ice that forms at the edge of a roof and prevents melting snow (water) from draining off the roof. The water that backs up behind the dam can leak into a home and cause damage to walls, ceilings, insulation, and other areas.**Material:** Copper Vinyl/Plastic Galvanized/Aluminum Other**Condition:** Satisfactory Marginal **Poor** **Rusting****Leaking:** Corners Joints **Main runs****Attachment:** Loose **Missing spikes** **Improperly sloped (See remarks page)****Extension needed:** North South East West**SIDING**

(*See remarks page EIFS)

Material: Metal Old, not maintained **Wood rot/exposed wood** Peeling paint **Loose/Missing/Holes****Note- Concealed behind Siding :** Siding cannot be removed during a home inspection; invasive. There is always a chance of concealed water and/or wood destroying insect damage behind gutters, siding, trim, rake boards and fascia. This cannot be determined during a visual non-invasive home inspection. Mold can also be concealed and not visible.**Condition:** Satisfactory Marginal Poor **Recommend repairs/replacement****TRIM, SOFFIT, FASCIA, FLASHING****Material:** Wood Poorly maintained Metal **Recommend repair/replacements/flashings** **Damaged wood** **Note:** Often concealed water damage or rot can be concealed behind gutters on fascia or soffits. Monitor areas and address repairs as needed. Dirty gutters will spill over and cause damage often concealed, on fascia, trim, siding or interior; clean regularly.**Condition:** Satisfactory Marginal Poor**CAULKING****Condition:** Satisfactory Marginal Poor **Recommend around windows/doors/masonry ledges/corners/utility penetrations as needed****WINDOWS & SCREENS** **Failed/fogged insulated glass****Material:** Wood Metal Vinyl Aluminum/Vinyl Clad**Screens:** Torn Bent Not installed Glazing/caulk needed**Condition:** Satisfactory Marginal Poor **Wood rot** **Recommend repair/replacement****STORMS WINDOWS** None Not installed Wood Clad comb. Wood/metal comb.**SLAB-ON-GRADE/FOUNDATION** N/A (See Basement/Crawl Space)

GENERAL COMMENTS

CHIMNEY/GUTTERS/SIDING/TRIM: Recommend replacing gutters with roof and upsize to larger (~6") and extend away from house for drainage. Clean gutters often to ensure proper flow or distribution away from structure. Clogged, dirty or covered (gutters helmets, screens, etc.) will reduce the collection ability and spillage or water damage can occur to interior of home. Gutters and rain leaders or downspouts are important for rainwater collections and distribution away from structure. Recommend removing trees/shrubs/overgrowth near home; too close. Vegetation, grading surface drainage, rotted tree stumps among other forms of plant material is likely to adversely affect the home or dwelling adversely. Grounds are viewed during a home inspection from the perspective of how they may affect the home negatively. Homes can typical experience wet basements, crawl spaces and attract Wood destroying insect infestation as a result of negative grading, landscaping and soil too close to home and poor maintenance. Recommend chimney sweep clean/evaluate chimney. The chimney was leaning, tarred, poor condition. Recommend a chimney contractor evaluate chimney and advise on repairs & presence of liner for fire/life/safety. The boilers were not running/apart; not heat in home. Recommend a boiler contractor and chimney contractor advise on chimney removal and direct venting; chimney and boilers in poor condition. There was a cemented oil filler and an oil vent pipe on left side of the home. Recommend a property tank sweep to rule out any buried oil tank(s) before closing. *All chimneys will need repairs and or linings at some point(s) in their life. Proper maintenance and cleanings are extremely important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. The Internal elements of the chimney could not be evaluated and fall outside the scope of a visual home inspection. Internal defects and/or fire hazards often exist in any chimney of any age and especially in older structures. It is strongly advised that a Level II Internal chimney inspection be conducted in accordance with the National Fire Safety Standard (NFPA 211) prior to closing. Buyer accepts all risk, cost of repairs, possibility of dangerous conditions (fire, carbon monoxide, unstable structure, etc) if he or she fails to conduct this type of Level II chimney inspection. Chimney repairs often start at tens of thousands of dollars. Costs will go up depending on the chimney type, number of flues, complexity of structure, and determination of concealed internal damage to the buildings structure, walls, ceilings and floors.* The rear of house had an addition, bumped out or structural modifications. The exterior siding/trim/windows/etc. were old and not well maintained. There was exposed wood, rot, missing trim, missing flashings, etc. Recommend a building contractor evaluate exterior and advise on all repairs/replacements (siding, trim, windows/frames, roof/gutters/ventilation, etc.). Obtain all closed permits for addition as required by the township before closing.

CONCERNS:

1. Recommend replacing gutters with roof and upsize to larger (~6") and extend away from house for drainage. Clean gutters often to ensure proper flow or distribution away from structure. Clogged, dirty or covered (gutters helmets, screens, etc.) will reduce the collection ability and spillage or water damage can occur to interior of home. Gutters and rain leaders or downspouts are important for rainwater collections and distribution away from structure. Recommend removing trees/shrubs/overgrowth near home; too close.
2. The rear of house had an addition, bumped out or structural modifications. The exterior siding/trim/windows/etc. were old and not well maintained. There was exposed wood, rot, missing trim, missing flashings, etc. Recommend a building contractor evaluate exterior and advise on all repairs/replacements (siding, trim, windows/frames, roof/gutters/ventilation, etc.). Obtain all closed permits for addition as required by the township before closing.
3. The chimney was leaning, tarred, poor condition. Recommend a chimney contractor evaluate chimney and advise on repairs & presence of liner for fire/life/safety. The boilers were not running/apart; not heat in home. Recommend a boiler contractor and chimney contractor advise on chimney removal and direct venting; chimney and boilers in poor condition. There was a cemented oil filler and an oil vent pipe on left side of the home. Recommend a property tank sweep to rule out any buried oil tank(s) before closing.

EXTERIOR/ELECTRICAL/AC/HEAT PUMP/GARAGE**SERVICE ENTRY**

Underground Overhead *Weather head/mast needs repair* Condition: Sat. Marginal Poor
 Exterior outlets: Yes No Operative: Yes No *Overhead wires too low*
 GFCI present: Yes No Operative: Yes No *Less than 3' from balcony/deck/windows*
 Reverse polarity *Open ground* *Safety Hazard*

BUILDING(S) EXTERIOR WALL CONSTRUCTION

Type: Not visible, inside walls Framed Masonry Other
 Condition: Satisfactory, overall exterior Marginal Poor Not visible inside walls

EXTERIOR DOORS

Patio Storm Entrance
 Weather-stripping: Satisfactory Marginal Poor Daylight/gaps around doors & windows
 Repair/Replace doors & windows
 Door Condition: Satisfactory Marginal Poor

EXTERIOR A/C - HEAT PUMP

Location(s): N/A- no central air conditioning

Unit #1 Brand: --- Outside shutoff: Yes No
 Condition: Satisfactory Marginal Poor Rusted Level: Yes No
 Cabinet/housing rusted Condenser Fins: Damaged Need cleaning Damaged base/pad

GARAGE

None Attached Detached 2-car
 Automatic Opener: Yes No Operable Inoperable Remote not available
 Safety Reverse Operable: Pressure reverse Electric eye Need(s) adjusting Safety hazard
 Roofing Material: Same as house Type: asphalt shingles
 Approx. Age: past life/holes/damage/daylight coming into garage/leaking/water & mold-like damage to roof/decking/structure
 Gutters: None Satisfactory Marginal Poor
 Siding: wood Trim: wood
 Floor : Material: Concrete Gravel Asphalt Dirt Other
 Condition: Poor Repairs needed- water entering garage/damaged roof
 Large settling cracks, plants/vegetation/mold- like Recommend evaluation/repair
 Burners less than 18" above garage floor: N/A Yes No Safety hazard
 Sill Plates: Not visible Floor level Elevated Rotted/Damaged Recommend repair
 Overhead doors: N/A Wood Fiberglass Masonite Metal Recommend repair
 Satisfactory Marginal Poor Overhead door hardware loose Other
 Recommend Painting Inside & Edges: Yes No Recommend lubrication Weather-stripping missing/damaged
 Exterior Service Door: None Satisfactory Marginal Poor Damaged/Rusted
 Electricity Present: Yes No Not visible GFCI Present: Yes No Operates: Yes No
 Reverse polarity: Yes No Open ground: Yes No Safety hazard
 Handyman/extension cord wiring/unsafe/dangerous
 Firewall (Between garage & living area): N/A Present Missing
 Satisfactory Safety hazard(s) Recommend repair Holes walls/ceiling
 Fire door: Not verifiable Not a fire door Needs repair Satisfactory
 Moisture Stains Present: Yes Water damaged roof, water & mold-like dark staining on walls, storage, etc.
 Typical Cracks: No- foundation cracks

GENERAL COMMENTS

EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE : The garage had extensive water, mold-like & insect damage. The roof was rotted and nearing collapse; daylight coming in numerous places. Wet debris & storage everywhere; wet and rotted. There was mold-like substances walls, roof decking storage, etc. Recommend an environmental contractor evaluate all mold like substances in the home and garage. Mold, asbestos, lead, etc. is beyond the scope of a home inspection. There were cracks on foundation, structural modified walls, enclosed man door, etc.; structural concerns. There was an electric meter and service drop on front right corner of garage with an open electric panel in garage; corroded/unsafe. There was handyman wiring, cables, damaged wood, deteriorated garage building and components. Recommend a building contractor evaluate building & advise on roof removal, structure, decking, shingles, ventilation, gutters, electrical replacement (panel, wiring, devices, lighting, etc.), etc. Recommend a building contractor and structural engineer (PE) evaluate structure, cracks, etc. and advise on all structural repair in home and garage. Recommend an environmental contractor evaluate all mold like substances in the home and garage. Mold, asbestos, lead, etc. is beyond the scope of a home inspection.

CONCERNS:

1. Recommend a structural engineer (PE), electrician and building contractor evaluate the home and garage and advise on all structural repairs, roof, electrical, windows, etc. The home and garage were in distressed condition.
2. Recommend an environmental contractor evaluate all mold like substances in the home and garage. Mold, asbestos, lead, etc. is beyond the scope of a home inspection.



Figure 7 Example of water and wood destroying insect damage in garage.



Figure 8 Wet/moldy rotted storage in garage.





Figure 9 Example of mold-like conditions.



Figure 10 Rusted lally column, structural modifications, leaking roof/leaks/damaged roof structure, etc. Recommend a structural engineer (PE) and building contractor evaluate/advise on all repairs.

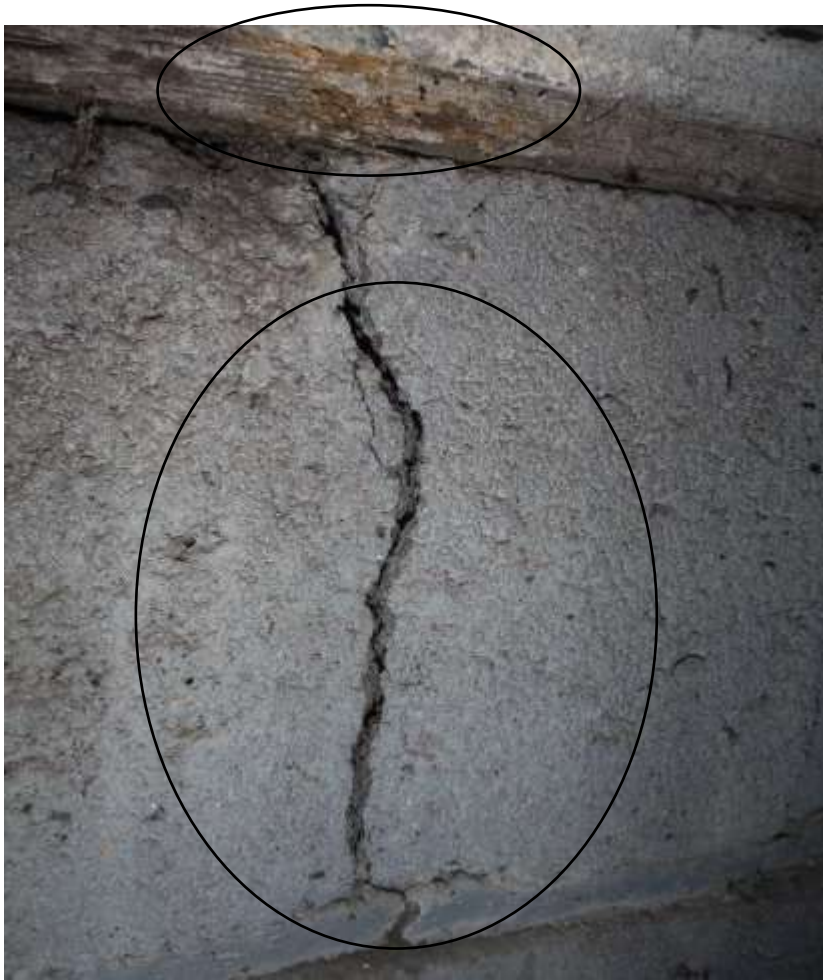


Figure 11 Example of foundation cracks.

UNIT I

KITCHEN I

COUNTERTOPS

Satisfactory Poor *Recommend repair/upgrades*

CABINETS

Satisfactory Poor *Recommend repair/upgrades*

Note: Counter tops, cabinets or other storage built in products vary in quality, construction, manufacturer and brand. Low quality materials such as press board or particle board type products will sag, bow, glue separation, split have separations between units, counter tops and back splashes. This is especially true when items such as microwave, heavy cookware and other counter top appliances are placed on the shelves and counter tops. They will stress the material, often fall apart and become unglued. It is not the inspector's responsibility to judge them, inspect quality or predict their life or resulting product breakdown. This material and similar composite materials is lower quality and will have problems or negative issues. They often result in loose hardware, splits and cracks due to the low product quality. If the material becomes moist or wet it will swell, split, break down and fail. *If you have concerns about your quality of fixtures, brands, manufacturer, appliances, cabinets, counter tops, and other installed products, address them before closing with the selling party. Check all paperwork, manuals and other product literature for specifications, design, construction and warranty.*

PLUMBING COMMENTS

Faucet Leaks: Yes No **Pipes leak/corroded:** Yes No
Sink/Faucet: Poor Corroded Chipped Cracked *Recommend repair*
Functional Drainage: Adequate Poor **Functional Flow:** Adequate Poor
Hot water: No **Cold water:** Yes No

WALLS & CEILING

Condition: Satisfactory Marginal Poor Typical cracks *Moisture stains*

HEATING / COOLING SOURCE

No- boilers not working/damaged/ no heat or hot water in home

FLOOR

Condition: Spongy flooring throughout the home Poor Sloping Squeaks

APPLIANCES *

(See remarks page) Appliances are NOT GUARANTEED & only tested as found condition at time of inspection (Snap Shot); obtain a Home Warranty from Realtors office or private source to cover appliances. Always check under refrigerators and dishwashers, etc. for leaks, damage & mold before closing by licensed plumber & building contractor. Mold/environmental inspections are beyond the scope of a home inspection. Contents of home not manipulated and moved in a visual home inspection.

Disposal Operates: Yes No Oven/Range* Operates: Yes No
 Dishwasher Operates: Yes No
Dishwasher Air gap: Yes No N/A **Dishwasher Drain Line Looped:** Yes No Not visible
Outlets Present: Yes No Operable: Yes No
G.F.C.I.: Yes No Operable: Yes No

Open ground/Reverse polarity within 6' of water: Yes No *Potential safety hazard(s)*

NOTE: The Consumer Product Safety Commission, using estimates from 2006 through 2008, says that major appliances caused more than 150,000 residential fires each year, resulting in 3,670 injuries, 150 deaths, and \$547 million dollars in property damage. Go to (<http://www.consumerreports.org>) to see recent recalls.

*** Pursuant to 13:40-15.16 Standards of practice**

1) When inspecting the interior of a residential building, a home inspector shall:

1. Inspect:

v. Household appliances limited to:

- (1) The kitchen range and oven to determine operation of burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers and thermostats;
- (2) Dishwasher to determine water supply and drainage; and
- (3) Garbage disposer

GENERAL COMMENTS

KITCHEN I REAR : Recommend anti tip brackets on all stoves for safety.* The home had structural defects; sloped flooring, spongy, bounce, etc. The home needs gutting and renovations; see pg. 2 comments. There was structural damage in crawl space below; moisture/water/wood destroying insect/structural damage. See crawl space section comments. The sink was backing up/not draining. See plumbing section comments. There was not hot water, no heat, stove not working, etc.; uninhabitable condition. The vent over stove was not working, missing doors or parts on cabinets, etc. Bathrooms, plumbing, electrical were in distressed condition. Recommend a building contractor evaluate home for gutting & upgrades everywhere. There was a through wall A/C running on rear wall at time of inspection. Electrical was in poor condition, open grounds; dangerous. Recommend GFCI outlets. See electrical section comments.

CONCERNS:

- 1. The sink was backing up/not draining. There was not hot water, no heat, stove not working, etc.; uninhabitable condition. Bathrooms, plumbing, electrical were in distressed condition. Recommend a licensed electrician, plumber and/or a building contractor evaluate electrical, plumbing and home for gutting & upgrades everywhere.**
- 2. The home had structural defects; sloped flooring, spongy, bounce, etc. The home needs gutting and renovations; see pg. 2 comments. There was structural damage in crawl space below; moisture/water/wood destroying insect/structural damage. See crawl space section comments.**

BATHROOMS**MAIN BATH: OFF
KITCHEN****SINKS / TUBS / SHOWERS**

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor
 Hot water: No Cold water: Yes No

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where: recommend gutting bathrooms, kitchens & plumbing, electrical, etc.
 Functional Drainage: Poor Functional Flow: Adequate Poor, erratic/calcium/mineral deposits
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes Switch & wires hanging out of
 electrical box- shock hazard
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE No

Window/Door: Yes No Operational: Upgrades needed Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes Not working

GENERAL COMMENTS

MAIN BATH OFF KITCHEN : There was a broken electrical switch/device hanging out of the wall; dangerous/shock hazard. The flooring in the home was sloped, spongy, damaged, wood destroying insect damage in basement & crawl space. See separate NPMA-33 Wood destroying insect report. The bathrooms, kitchens, plumbing, electrical, etc. need gutting & upgrades; poor condition.

CONCERNS:

1. Recommend a building contractor evaluate the entire home for all system upgrades & gutting/renovations; poor condition, no heat, no hot water, unsafe electrical, poor plumbing, structural concerns, etc./uninhabitable.

UNIT II**KITCHEN****COUNTERTOPS** Poor Marginal Recommend gutting/upgrades everywhere**CABINETS** Poor Marginal Recommend gutting/upgrades everywhere

Note: Counter tops, cabinets or other storage built in products vary in quality, construction, manufacturer and brand. Low quality materials such as press board or particle board type products will sag, bow, glue separation, split have separations between units, counter tops and back splashes. This is especially true when items such as microwave, heavy cookware and other counter top appliances are placed on the shelves and counter tops. They will stress the material, often fall apart and become unglued. It is not the inspector's responsibility to judge them, inspect quality or predict their life or resulting product breakdown. This material and similar composite materials is lower quality and will have problems or negative issues. They often result in loose hardware, splits and cracks due to the low product quality. If the material becomes moist or wet it will swell, split, break down and fail. *If you have concerns about your quality of fixtures, brands, manufacturer, appliances, cabinets, counter tops, and other installed products, address them before closing with the selling party. Check all paperwork, manuals and other product literature for specifications, design, construction and warranty.*

PLUMBING COMMENTS**Faucet Leaks:** Yes No**Pipes leak/corroded:** Yes No**Sink/Faucet:** poor Corroded Chipped Cracked Recommend repair**Functional Drainage:** Adequate Poor**Functional Flow:** Adequate Poor**Hot water:** No**Cold water:** Yes No**WALLS & CEILING****Condition:** canted Poor cracks Moisture damage, mold-like**HEATING / COOLING SOURCE** Yes No- boilers not working/damaged/ no heat or hot water in home**FLOOR****Condition:** Spongy flooring throughout the home Poor Sloping Squeaks**APPLIANCES ***

(See remarks page) Appliances are **NOT GUARANTEED** & only tested as found condition at time of inspection (Snap Shot); obtain a **Home Warranty** from Realtors office or private source to cover appliances. Always check under refrigerators and dishwashers, etc. for leaks, damage & mold before closing by licensed plumber & building contractor. Mold/environmental inspections are beyond the scope of a home inspection. Contents of home not manipulated and moved in a visual home inspection.

 Disposal

Operates:

 Yes No Oven/Range*

Operates:

 Yes No Dishwasher

Operates:

 Yes No**Dishwasher Air gap:** Yes No N/A**Dishwasher Drain Line Looped:** Yes No Not visible**Outlets Present:** Yes No

Operable:

 Yes No**G.F.C.I.:** Yes No

Operable:

 Yes No**Open ground/Reverse polarity within 6' of water:** Yes No Potential safety hazard(s)

NOTE: The Consumer Product Safety Commission, using estimates from 2006 through 2008, says that major appliances caused more than 150,000 residential fires each year, resulting in 3,670 injuries, 150 deaths, and \$547 million dollars in property damage. Go to (<http://www.consumerreports.org>) to see recent recalls.

*** Pursuant to 13:40-15.16 Standards of practice**

1) When inspecting the interior of a residential building, a home inspector shall:

1. Inspect:

v. Household appliances limited to:

- (1) The kitchen range and oven to determine operation of burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers and thermostats;
- (2) Dishwasher to determine water supply and drainage; and
- (3) Garbage disposer

GENERAL COMMENTS

KITCHEN II (2nd floor): Recommend anti tip brackets on all stoves for safety.* Recommend a building contractor evaluate for gutting/upgrades in the home everywhere; deterioration and poorly maintained.

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BATHROOMS

MAIN BATH: 3RD FLOOR

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No
 Loose: Yes No
 Pipes leak: Yes No
Fixture(s) Condition: Satisfactory Marginal
 Hot water: No
 Cold water: Yes No
Condition: Poor

TOILET

Bowl Loose: Yes No
 Operates: Yes No
 Toilet leaks
 Cracked bowl/tank
 Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic
 Fiberglass
 Masonite
 Other
Condition: Satisfactory Marginal
 Poor- shower stall cracks, holes, water damaged room & floor
 Rotted floors
Caulk/Grouting Needed: Yes No
 Where:
Functional Drainage: Adequate Poor
Functional Flow: Adequate Poor
Whirlpool Operable: N/A Yes No
 Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No
Outlets present: Yes No
G.F.C.I. present: Yes No
Operates: Yes No
Open ground/Reverse polarity within 6' of water: Yes No
Potential safety hazards present: Yes No

HEAT / COOLING SOURCE

Yes No
Window/Door: Yes No
 Satisfactory
 Marginal
 Poor
Exhaust Fan: Yes No
Operates: Yes No
Noisy: Yes No

GENERAL COMMENTS

MAIN BATH 3rd floor rear: Bathroom was water damaged, rotted flooring, mold-like, unusable shower & fixtures, etc. The home needs gutting (subflooring, joists, flooring, drywall, etc.), electrical, plumbing, heating, etc. by a qualified building contractor. See plumbing section comments.

CONCERNS:

1. Recommend a building contractor evaluate the entire home for all system upgrades & gutting/renovations; poor condition, no heat, no hot water, unsafe electrical, poor plumbing, structural concerns, etc./uninhabitable.

LIVING ROOM

LOCATION: 2ND FLOOR FRONT

Walls & Ceiling:	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input checked="" type="checkbox"/> Poor	
	Moisture stains:	<input checked="" type="checkbox"/> Yes*	<input type="checkbox"/> No	Where:
Floor:	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input checked="" type="checkbox"/> Poor	<input checked="" type="checkbox"/> Squeaks <input checked="" type="checkbox"/> Slopes
	Typical cracks:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
Ceiling Fan:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
Electrical:	Switches: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Outlets: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No Operates: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Cover plates missing <input type="checkbox"/> Safety Hazard
Heating/Cooling Source:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Holes:	<input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
Bedroom Egress Restricted:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Doors & Windows:	Operational: <input checked="" type="checkbox"/> replace windows & doors	Broken Vapor Seals : <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
	Locks/Latches Operable: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Missing <input type="checkbox"/> Cracked Glass		

GENERAL COMMENTS

LIVING ROOM 2ND FLOOR FRONT : There were structural concerns in the home; sagging ceilings, canted walls/doorways, sloped/spongy flooring, etc. There were structural modifications, indication of removed or altered walls, etc. The roof was in poor kitchen and water stains/leaking throughout the home.*

CONCERNS:

1. **Sloped staircases, canted walls/doorways, etc. in the home; structural concerns. Recommend a structural engineer (PE) evaluate all structure in the home. Recommend obtaining all history for structural modifications, removed walls, fire damage, etc. before closing and contractual limitations. Stairwell to 3rd floor had trip/fall hazard; open first step off landing.**



Figure 12 Sagging, sloped flooring, indication of removed walls/altered structure, etc.



Figure 13 Sloped staircases, canted walls/doorways, etc. in the home; structural concerns. Recommend a structural engineer (PE) evaluate all structure in the home. Recommend obtaining all history for structural modifications, removed walls, fire damage, etc. before closing and contractual limitations. Stairwell to 3rd floor had trip/fall hazard; open first step off landing.

#1 BEDROOM 3RD FLOOR FRONT

LOCATION: 3RD FLOOR FRONT

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: Satisfactory Marginal Poor
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Upgrades needed Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

#1 BEDROOM 3rd floor front: There was a knee wall on right side; limited view or access. There was hanging insulation and stained sheathing; limited/inaccessible. The 3rd floor was a finished attic and a small scuttle in the bathroom was blocked by the shower stall. Obtain all close permits for finished attic and upper apartment unit II. There was one water main valve in basement for the home. The home was converted to a 2 family; obtain legal status of the dwelling before closing and contractual limitations. There was one water main valve in basement for the home.

#2 BEDROOM 3RD FLOOR MIDDLE

LOCATION:

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: Satisfactory Marginal Poor
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Upgrades needed Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

#2 BEDROOM 3rd floor middle : There were active roof leaks and water damage to drywall or interior throughout the home. See roofing section comments.

WINDOWS/FIREPLACES/HALL/ATTIC

INTERIOR WINDOWS / GLASS

Condition: Satisfactory Marginal **Poor** **Needs repair/replacements** Painted shut (See remarks page)
 Representative number of windows operated Ask if windows under warranty

Evidence of Broken Vapor seals : Yes No N/A **Safety Glazing Needed:** Yes No
 Glazing compound needed Cracked glass Hardware missing **Broken counter-balance mechanism**

Security Bars Present: N/A Yes No Not tested **Safety hazard** **Test release mechanism before moving in**

FIREPLACE None Location(s): ----

STAIRS / STEPS / BALCONIES

sloped/canted Poor None

Handrail: Satisfactory Marginal Poor **Safety hazard** **Loose; secure properly**

Risers/Treads: Satisfactory Marginal Poor **Risers/Treads uneven/unsafe**

SMOKE / CARBON MONOXIDE DETECTORS (See remarks page)

Present: **Smoke Detector:** No **Operates:** Yes No Not tested
CO Detector: No **Operates:** Yes No Not tested

Security systems, fire suppression and the like are not part of a home inspection (see contract). Follow up with the provider for these features in home to have them inspected or evaluated.

Not tested; Should be performed by Local/State municipality prior to Occupancy.

ATTIC/STRUCTURE/FRAMING/INSULATION

Finished attic

Access: Stairs Pull down
 Knee wall- front bedroom/small limited access/insulation hanging on rafters/loose
 Scuttle hole/Hatch- small hatch ~12'x12' blocked by the 3rd floor shower stall door- inaccessible*
 Not accessible* Other

Inspected From: Access panel- knee wall- loose hanging insulation/limited view at opening
 In the finished attic- structure inaccessible no access to small scuttle over the shower

Location: Bedroom hall Bedroom closet Garage Other

Access Limited By: finished attic, limited view at scuttle wall in bedroom#1

Flooring: Complete Partial None

Insulation: Type: fiberglass Batts Loose Average inches: 1-2 Approx. R-rating: Unknown
 Damaged **Displaced** **Missing**
 Insulation should not be installed on roof sheathing/will rot decking or wood
 Recommend Baffles @ Eaves
 There was condensate stains/darkening on sheathing- limited view due to insulation in knee wall on rafters/hanging/not accessible

Installed In: Rafters Walls Between ceiling joists Not visible
 Recommend proper mix of insulation & ventilation

Note: Insulations in older homes may be very little or non-existent in walls, ceilings, crawl or basement; not visible where finished or inaccessible. It is always recommended to conduct an energy audit with a contractor that provides that service.

Ventilation: Yes No **Ventilation appears adequate** **Recommend additional ventilation**
 Maximum ventilation is always recommended to avoid shortening life of roof, avoid hot humid conditions conducive to mold growth, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage, etc. Discuss ventilation & insulation with a qualified contractor.

Fans Exhausted To: N/A Attic: Yes No Outside: Yes No Not visible
 HVAC Duct: N/A Damaged Split Disconnected Leaking Repair/Replace
 Chimney Chase: N/A Satisfactory Needs repair See chimney section comments

Structural Problems Observed: Yes Roof inaccessible

Recommend Structural Engineer- home & garage have structural defects/deficiencies

Roof Structure: Rafters very limited view in front knee wall around fallen/ Wood Metal
 Water stains, rusted nails, fallen insulation- limited view at scuttle opening

Collar Ties Present: Yes No not visible

Roof Sheathing: Plywood OSB approx. ~ 1x4 Wood Cedar shingles Rotted Stained
 Insulation/old/falling/hanging

Evidence of Condensation/Moisture Leaking: Yes No (*See remarks page*) Possible Mold whenever there are leaks in home; testing and identification of mold and environmental hazards is NOT part of home inspection. Follow-up with an environmental testing contractor before closing for that type of inspection.

Ceiling Joists: Wood Metal Other Not visible

Vapor Barriers: Kraft/foil faced Plastic Not visible- most/limited view at scuttle opening
 Improperly installed

Firewall Between Units: N/A Yes No Needs repair/sealing (*See remarks page*)

Indication of Past fire damage Yes- charred wood in crawl space rear of basement

Recommend checking with Local fire Marshall and Township for all fore damage/history

Electrical: Open junction box(es) Handyman wiring Visible knob-and-tube Loose wires/live wires

GENERAL COMMENTS

WINDOWS/FIREPLACES/HALL/ATTIC: The windows were in poor condition, leaking, water damaged, and mold-like substance in the home. Recommend replacing all windows and doors. There was sloped/spongy/damaged flooring in hallways, sloped stairs, narrow treads, railings missing, charred/framing in crawl space/fire damage, etc. Recommend a structural engineer (PE) evaluate the home & garage and advise on structural repairs/mitigation. Recommend a building contractor evaluate for gutting/upgrades and system/component replacements. The home was uninhabitable; no heat, no stove/cooking ability, plumbing & electrical safety concerns, etc. The chimney was leaning, tarred, poor condition. Recommend a chimney contractor evaluate chimney and advise on repairs & presence of liner for fire/life/safety. The boilers were not running/apart; not heat in home. Recommend a boiler contractor and chimney contractor advise on chimney removal and direct venting; chimney and boilers in poor condition. There was a cemented oil filler and an oil vent pipe on left side of the home. Recommend a property tank sweep to rule out any buried oil tank(s) before closing. Proper chimney maintenance and cleanings are important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. *It is always recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety.* Ventilation appears inadequate. Hot humid attics will typically shorten life of roof, can potentially cause heat damage (splits, delamination, etc.) and conducive to mold/mildew. Recommend a ventilation & insulation contractor evaluate and advise on ventilation. Roofs should have maximum ventilation to avoid shortening life of roof, potential roof structure/heat damage and moisture build-up.

CONCERNS:

- The chimney was leaning, tarred, poor condition. Recommend a chimney contractor evaluate chimney and advise on repairs & presence of liner for fire/life/safety. The boilers were not running/apart; not heat in home. Recommend a boiler contractor and chimney contractor advise on chimney removal and direct venting; chimney and boilers in poor condition. There was a cemented oil filler and an oil vent pipe on left side of the home. Recommend a property tank sweep to rule out any buried oil tank(s) before closing.
- The windows were in poor condition, leaking, water damaged, mold-like substance in the home. Recommend replacing all windows and doors. There was sloped/spongy/damaged flooring in hallways, sloped stairs, narrow treads, railings missing, charred/framing in crawl space/fire damage, etc. Recommend a structural engineer (PE) evaluate the home & garage and advise on structural repairs/mitigation. Recommend a building contractor evaluate for gutting/upgrades and system/component replacements. The home was uninhabitable; no heat, no stove/cooking ability, plumbing & electrical safety concerns, etc.

BASEMENT

STAIRS N/A

Condition: Poor Need repairs/replacement- unsafe/dangerous
Handrail: Yes No **Condition:** poor Loose
Headway Over Stairs: Marginal Low clearance Safety hazard

FOUNDATION **Condition:** Poor Marginal Have evaluated by a structural engineer (PE)

Material: Brick painted walls
Horizontal Cracks: Yes
Step Cracks: Yes
Vertical Cracks: Yes
Covered Walls: Yes- painted thick white
Movement Apparent: Yes
Indication Of Moisture: Yes Wet basement & crawl space Fresh Old stains

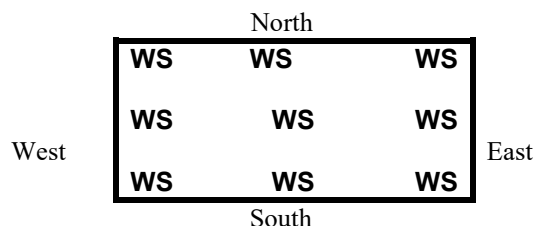
Condition reported above reflects visible portion only

BASEMENT/CRAWL SPACE WALLS

Diagram indicates where wall not visible and type of covering:

P = Paneling C = Crack(s)
 D = Drywall M = Monitor
 S = Storage E = Evaluate

W= Water, Wood destroying insect/structural damage



FLOOR **Material:** Concrete/ Dirt/Gravel Plants growing in floor & wood floor sills

Condition: Poor-plants growing out of basement floor Large cracks/dirt/wet/plants
 Entire basement cluttered

Insulation Comments: All Crawl spaces & basements need to have proper vapor barrier(s), ventilation & insulation (between floor joists). Energy losses are not inspected or identified in a general inspection. Have an Energy audit performed on the home before closing to find areas that need improvement before closing. Contact your local Utility Company for information and Energy Audit contractors.

SEISMIC BOLTS N/A

BASEMENT DRAINAGE

Indication of moisture: Yes Wet basement & crawl space Fresh Old stains

Environmental Hazards: Mold, etc. are Not part of a NJ Home Inspection (See Standards of Practice & Pre-Inspection Agreement)

Possible mold-like ; testing recommended and further evaluation by qualified mold contractor. Mold & environmental inspection & testing is beyond the scope of a home inspection. Follow-up with an environmental inspection & testing company.

Basements are not intended for legal bedrooms or living spaces unless deemed by local township which requires Egress compliant windows among other requirements. Have township code official evaluate any basements for purpose other than mechanicals, electrical and utilities or laundry. Living in a basement may affect overall health and breathing.

Sump Pump: Yes No **Tested:** Yes No Working Not working Needs cleaning Not tested

Floor Drains: Yes No Flake paint, concrete/mortar & brick deterioration Efflorescence present
 Recommend dehumidifier

Note: Under certain unforeseen weather conditions, future moisture and water infiltration can occur even if a basement has never had moisture in the past. Observing proper grading, drainage, working gutter systems and sump pumps is imperative in helping keep a basement dry. It is strongly recommended to install a Water Management System if not already present to avoid wet or flooded basements as well as mold and structural damage.

GIRDERS / BEAMS / COLUMNSMaterial: Steel Wood Block Brick columnsCondition: Twisted main beam/girder Poor Stained/rusted**JOISTS**Material: Wood Steel Truss Not visible
 Engineered I-Type Sagging/altered joistsCondition: Satisfactory Marginal Poor

(IF CHECKED) Wood destroying insect evidence was present: Sections of insulation/walls or ceilings must be removed to determine extent damage as per structural carpenter's evaluation. Hidden damage possible. Recommend structural engineer/licensed contractor evaluate and licensed treatment company exterminate prior to closing.

SUB FLOOR Indication of moisture stains/rotting ** Areas around shower stalls, etc., as viewed from basement or crawl space**GENERAL COMMENTS**

BASEMENT : The basement and crawl spaces were very wet/seepage. There was damaged foundation and brick columns; brick & mortar/powdery, deterioration, flaked, cracks, etc. Brick columns were far apart in main section, sagging twisted beams/columns/floor joists, improperly notched joists, damaged joists & beams (wood boring beetles, carpenter ant, and termite). Wood destroying insect damage on beam/girders, floor joists, rims/band, sills, cross bridging, etc. Flooring was sloped, spongy, water & wood destroying insect damage, etc. throughout the home. Recommend having flooring evaluated by a structural engineer (PE) and building contractor for extent of damage and repairs/replacement (sub flooring, joists, sills, band joists, girders/main beams/columns, finished flooring, etc.). Doors& frames, windows, flashings, siding and exterior components need to be repaired/replaced to stop all water/wood destroying insect/mold-like damage to the home. Home was distressed and all systems have defects/deficiencies and uninhabitable. Recommend a mold/asbestos environmental contractor evaluate & test for environmental hazardous materials/substances (beyond the scope of a home inspection). Recommend a wet basement & crawl contractor & grading & drainage contractor evaluate/advise on grading & drainage and water management system(s) to maintain a dry basement. Gutters need to be replaced with roof and extended 6-8 ft. away from foundation. There was mold-like staining on foundation and wood framing in the basement and crawl spaces, interior rooms and garage. There was asbestos-like insulation on heating pipes in basement and crawl space. This material can be concealed or hidden in plaster walls, flooring and ceilings. Recommend a mold/asbestos/environmental contractor evaluate the home and inspect/test for mold, asbestos, lead, etc. hazards. An environmental inspection & testing is not part of home inspection and should be done by a qualified expert in that field before closing. Ongoing water seepage and leaking roof, plumbing, exterior/windows/etc. have caused water infiltration and mold-like conditions in the home and garage. There was mice/rodent droppings on sills and floor in basement and crawl spaces. Recommend a wet basement/crawl space damp proofer contractor evaluate for system(s) to maintain a dry basement. Basement shows signs of water penetration, seepage or wet conditions. Recommend observing proper grading and drainage on exterior to avoid water infiltration. Recommend cleaning and maintaining gutter and leaders for proper water drainage. Recommend a dehumidifier for moisture control as good practice.

CONCERNS:

1. The basement and crawl spaces were very wet/seepage. There was damaged foundation and brick columns; brick & mortar/powdery, deterioration, flaked, cracks, etc. Brick columns were far apart in main section, sagging twisted beams/columns/floor joists, improperly notched joists, damaged joists & beams (wood boring beetles, carpenter ant, and termite). Wood destroying insect damage on beam/girders, floor joists, rims/band, sills, cross bridging, etc. Flooring was sloped, spongy, water & wood destroying insect damage, etc. throughout the home. Recommend having flooring evaluated by a structural engineer (PE) and building contractor for extent of damage and repairs/replacement (sub flooring, joists, sills, band joists, girders/main beams/columns, finished flooring, etc.). Doors& frames, windows, flashings, siding and exterior components need to be repaired/replaced to stop all water/wood destroying insect/mold-like damage to the home. Home was distressed and all systems have defects/deficiencies and uninhabitable. Recommend a mold/asbestos environmental contractor evaluate & test for environmental hazardous materials/substances (beyond the scope of a home inspection).
2. Recommend a wet basement & crawl contractor & grading & drainage contractor evaluate/advise on grading & drainage and water management system(s) to maintain a dry basement. Gutters need to be replaced with roof and extended 6-8 ft. away from foundation. There was mold-like staining on foundation and wood framing in the basement and crawl spaces, interior rooms and garage.

EXAMPLES OF STRUCTURAL DEFECTS/DEFICIENCIES/MOLD-LIKE/WOOD DESTROYING INSECT DAMAGE:

Flooring was sloped, spongy, water & wood destroying insect damage, etc. throughout the home. Recommend having flooring evaluated by a structural engineer (PE) and building contractor for extent of damage and repairs/replacement (sub flooring, joists, sills, band joists, girders/main beams/columns, finished flooring, etc.). Doors & frames, windows, flashings, siding and exterior components need to be repaired/replaced to stop all water/wood destroying insect/mold-like damage to the home. Home was distressed and all systems have defects/deficiencies and uninhabitable. Recommend a mold/asbestos environmental contractor evaluate & test for environmental hazardous materials/substances (beyond the scope of a home inspection). Recommend a wet basement & crawl contractor & grading & drainage contractor evaluate/advise on grading & drainage and water management system(s) to maintain a dry basement. Gutters need to be replaced with roof and extended 6-8 ft. away from foundation.







Figure 14 Wet basement & plants growing in floor around basement.



Figure 15 Main beam/girder sagging between brick columns. Center columns > 8ft. apart (should be less than). Deterioration and water damaged columns.





Figure 16 Mold-like staining; have evaluated by mold/environmental contractor.



Figure 17 Sagging twisted beam/girder. The girder and floor joists were sagging, sloped spongy flooring/damaged throughout the home.



Figure 18 Twisted main beam/girder in basement. Floor joists and beam were sagging, flooring/subflooring spongy/deflection or movement when walked upon; structural defects/deficiencies observed in the home.

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.



Figure 19 Example of termite shelter tubes on joists or framing. See crawl space section comments.

LAUNDRY ROOM

ROOM COMPONENTS

Laundry sink: N/A **Faucet leaks:** Yes No **Pipes leak:** Yes No
Hot water: Yes No **Cold water:** Yes No
Cross connections: Yes No **Heat source present:** Yes No **Room vented:** Yes No
Dryer vented: N/A Wall Ceiling Floor Not vented
 Not vented to Exterior *Recommend repair* *Safety hazard*
Electrical: Open ground/reverse polarity within 6' of water: Yes No *Safety hazard*
G.F.C.I. present: Yes No **Operates:** Yes No
Appliances: not inspected in a home inspection Water heater Furnace Cluttered
 Always check under washer & dryer for water damage and mold before closing; contents not manipulated or moved in a visual inspection.

Note: Testing/inspecting washer and dryer is not part of New Jersey home inspection.

Washer hook-up lines/valves: Leaking Corroded Not visible
Gas Shut-off Valve: N/A Yes No Cap Needed Safety hazard Not visible
Electrical Set-up : N/A Yes No

GENERAL COMMENTS

LAUNDRY : Not evaluated in a home inspection.

CRAWL SPACES

CRAWL SPACE N/A Full crawlspace Combination basement/crawl space
 Conditioned (heated/cooled): Yes No

ACCESS Exterior Interior hatch door Via basement No Access or Sealed

Inspected from: Access panel- front/debris inside/inaccessible/mice traps set/unsafe
 In the crawl space- rear

FOUNDATION WALLS **Condition:** Poor Have evaluated by engineer (PE)

Concrete block Cracks Movement

FLOOR

Concrete Gravel Dirt Other

SEISMIC BOLTS

N/A None visible Appear satisfactory Recommend evaluation

DRAINAGE

Outside drain Sump pump: Yes No Operable: Yes No
 None apparent **Evidence of moisture damage:** Yes No Recommend dehumidifier

VENTILATION Wall vents Power vents None apparent/not visible

GIRDERS / BEAMS / COLUMNS Steel/handyman pieced together Wood

Masonry Not visible

Condition: Satisfactory Marginal Poor

JOISTS **Material:** Wood Steel Truss Not visible

Charred/Fire damaged Sagging/altered joists/patched handyman

Indication of Past fire damage Yes- charred wood in crawl space rear of basement

Condition: Satisfactory Marginal Poor

(IF CHECKED) Wood destroying insect evidence was present: Sections of insulation/walls or ceilings must be removed to determine extent damage as per structural carpenter's evaluation. Hidden damage possible. Recommend structural engineer/licensed contractor evaluate and licensed treatment company exterminate prior to closing.

SUB FLOOR Not visible Wood Concrete Other

MOISTURE STAINS

None Walls Sub floor floor

Possible mold-like ; testing recommended and further evaluation by qualified mold contractor. Mold & environmental inspection & testing is beyond the scope of a home inspection. Follow-up with an environmental inspection & testing company.

INSULATION

None **Type: ---**

Location: Walls Between floor joists All Crawl spaces & basements need to have proper vapor barrier(s), ventilation & insulation (between floor joists). Energy losses are not inspected or identified in a general inspection. Have an Energy audit performed on the home before closing to find areas that need improvement before closing. Contact your local Utility Company for information and Energy Audit contractors.

VAPOR BARRIER

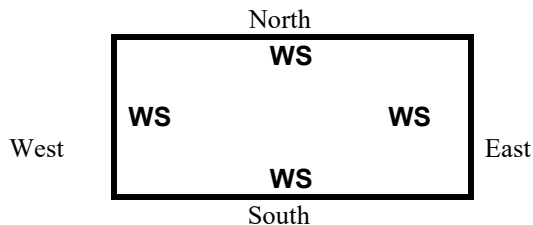
Yes No
 Kraft/foil face Plastic Other Not visible

BASEMENT/CRAWL SPACE WALLS

Diagram indicates where wall not visible and type of covering:

P = Paneling C = Crack(s)
 D = Drywall M = Monitor
 S = Storage E = Evaluate

W= Wet, seepage, water damage, wood destroying insect damage



GENERAL COMMENTS

CRAWL SPACE/SLAB ON GRADE : There was blackened/scorched/charred wood in rear crawl space; fire damaged. Flooring was warped and spongy in the home. Obtain all history for fire & water damage before closing from township/Boro. All structure must be evaluated by a structural engineer (PE) and advise on all repairs. The front crawl had debris, wood boring beetle/carpenter ant/termite damage on joists, sills, framing. There were handyman structural supports; improper. There was asbestos-like insulation on piping in crawl on heating pipes. There was mold-like staining on foundation, wood framing, sub flooring, etc. Recommend an environmental contractor evaluate the home and garage for mold, asbestos-like, lead among other hazards or substances; beyond the scope of a home inspection.

CONCERNS:

1. **There was blackened/scorched/charred floor joists or framing in rear crawl space. There were twisted/warped floor joists, splits, cracks, improperly sistered, sagging, etc. There was damaged sub flooring, joists, girders; water and wood destroying insect damage.**
2. **There was mold-like staining on foundation, wood framing, sub flooring, etc. Recommend an environmental contractor evaluate the home and garage for mold, asbestos-like, lead among other hazards or substances; beyond the scope of a home inspection.**

EXAMPLES OF WATER/WOOD DESTROYING INSECT/STRUCTURE DAMAGE:

There was clutter/debris in front and rear crawl spaces. Repairs/patched or handyman (improper) visible in front crawl at opening; inaccessible.







Figure 20 Examples of charred/fire damaged wood in rear crawl space. All structure must be evaluated by a **structural engineer (PE)** and advise on all repairs. Flooring was warped and spongy in the home. **Obtain all history for fire & water damage before closing.**



Figure 21 Tree roots, debris, nails/boards (unsafe) conditions.



Figure 22 Damaged columns and warped framing (joists, beams, subflooring/flooring, etc.).

EXAMPLES OF WATER & WOOD DESTROYING INSECT DAMAGE: (wood boring beetle/powder post, termite and carpenter ant. There was warped/sloped, spongy flooring throughout the home. There was charred and sistered joists in the rear crawl space. **Obtain all fire history for the home.** Fire may have occurred a long time ago; check with the fire department or Boro records.





Figure 23 Example of column, girder and floor joist structure damage; extensive. Recommend a structural engineer (PE) and building contractor evaluate extent of water/mold/fire damage in the home. Sub flooring, joists and beams or framing breaking up when touched or probed. There is indication of water & fire damage in the home. Flooring in all floors were warped and spongy; concealed or inaccessible on upper levels.





Example of Termite tube



PLUMBING

WATER SERVICE

Main Shut-off Location: basement- one main for entire home

The home needs gutting (plumbing, bathroom, kitchen upgrades everywhere)

Water Entry Piping: Not visible Copper/Galv. Plastic* (PVC, CPVC, Polybutylene, PEX) Unknown

Visible Water Distribution Piping: Copper Galvanized Plastic* (PVC, CPVC, Polybutylene, PEX) Unknown

Condition: Satisfactory Marginal Poor

Lead Other Than Solder Joints: Yes No Unknown Service entry

Functional Flow: Adequate Low Poor Water pressure over 80 psi; high

Pipes, Supply/Drain: Corroded Leaking Valves broken/missing Dissimilar metal

Drain/Waste/Vent Pipe: Copper Cast iron Galvanized PVC ABS

Condition: Poor- cracks, cut off, abandoned, mixed sizes, handyman/improper plumbing conventions, slow drainage, erratic/low flow, calcium/mineral deposits, cracked shower stalls, mold-like/leaking/water damaged areas, etc.

Drain pipe to floor in basement- have evaluated to ensure proper connection to sewer drain- handyman installation and cut off sewer pipes in basement Poor

Cross connection: not visible- have ruled out by licensed plumber. There was a lot of improper plumbing in the home. Have a licensed plumber evaluate for gutting and plumbing the entire home; poor condition/improper/old plumbing/mix of materials, etc.

Support/Insulation: Type: --

Traps Proper P-Type: N/A Yes No; some S-type or other P-traps recommended

Functional Drainage: Adequate Poor Recommend plumber evaluate all plumbing in home

Interior Fuel Storage System: No- there was an oil vent and cemented over filler on exterior of left side of house. Recommend a property tank sweep before closing to rule out any buried oil tank(s) before closing & contractual limitations Leaking: Yes No

Gas Line: Copper Brass Black iron Stainless steel Flexible CSST (yellow) Not visible

Condition: Satisfactory Marginal Poor

NOTE: T-Valves, ball valves, gate valves or any shut off valves, are not tested in a New Jersey home inspection.

MAIN FUEL SHUT-OFF LOCATION

2 gas meters in basement N/A

FIXTURES IN HOME

All plumbing and upgrades must be installed by licensed plumber and with permits when renovated.

Note: Fixtures in home are not inspected for product brand, quality, manufacturer, expected life or predicted failure. Fixtures are tested for adequate flow, adequate drainage and any noted leaks or corrosion at time of inspection. If brand and life service is a concern, obtain information and warranty from sellers before closing.

WELL PUMP

N/A Submersible

Location: In basement Well house Well pit Shared well

Pressure Gauge Operates: Yes No Unknown Well pressure: ??? psi Not visible

Well system and water testing not part of NJ home inspection. Well inspection and water testing should be conducted prior to closing.

SANITARY / GRINDER PUMP

N/A

Sealed Crock: Yes No **Check Valve:** Yes No **Vented:** Yes No

WATER HEATER #1 not on or functioning- no hot water in home**Condition:** Poor

Brand name: GE
Type: Gas No hot water in home at time of inspection
Unit Elevated: Yes No N/A Tank/Piping corroded/leaking
Capacity: 50 gallons **Approximate age:** replace with roof/recommend direct vented
Combustion Air Venting Present: Yes No N/A **Seismic restraints needed:** Yes No N/A
Relief Valve: Yes No **Extension proper:** Yes No Missing Recommend repair
Vent Pipe: N/A Condensate/drafting concerns Pitch proper Improper Rusted

 Recommend replacing water heaters**WATER HEATER #2** not on or functioning- no hot water in home**Condition:** Poor

Brand name: unknown- covered/insulation
Type: Gas Electric Oil Other
Unit Elevated: Yes No N/A Tank/Piping corroded/leaking
Capacity: unknown gallons **Approximate age:** replace with roof/recommend direct vented
Combustion Air Venting Present: Yes No N/A **Seismic restraints needed:** Yes No N/A
Relief Valve: Yes No **Extension proper:** Yes No Missing Recommend repair
Vent Pipe: N/A Condensate/drafting concerns Pitch proper Improper Rusted

 Recommend replacing water heaters**WATER SOFTENER***(Unit not evaluated)* N/A- recommended when hard water in home

Loop Installed: Yes No **Plumbing Hooked Up:** Yes No
Softener Present: Yes No **Plumbing Leaking:** Yes No

NOTE: Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumber in home. Plumbing code or any other code inspection is NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection.

GENERAL COMMENTS

PLUMBING: The plumbing vent in rear was too short on upper roof and plumbing vents for 1st floor not visible or accessible. Recommend having all plumbing vents evaluated with roof and plumbing to ensure proper venting for all bathrooms and kitchens. The home had deteriorated plumbing, patched, improper repairs, disrepair, cracked open sewer lines, cut off/broken pipes, damaged bathrooms (shower stall, toilets, fixtures, etc.), leaking, mixed plumbing drain sizes, improper drain & piping sizes, dissimilar materials, old plumbing (piping, valves, fittings, fixtures, etc.). Leaking plumbing, bathrooms and kitchens observed with water & mold-like damage. Flooring/subflooring was spongy and floor deflection/damage observed; evaluate by a structural engineer (PE). The water heaters were old, corroded and in poor condition and not working. Recommend a licensed plumber evaluate water heater and boilers for replacement; do not use/dangerous. There was no hot water and no heat in the home at time of inspection. The home has vacant Unit II on 2nd & 3rd floors and bathroom was severely damaged; cracked toilet/shower, water damage, mold-like, concealed damage, etc. Recommend a building contractor and licensed plumber evaluate the home for gutting and upgrades everywhere (plumbing, electrical, roof, water & mold damage/spongy flooring, damaged structure, wood destroying insect damage, bathrooms, kitchens, etc.); uninhabitable condition. Note that fixtures, drains and pipes may clog, leak or back-up when a home is left vacant for a period of time and if there is hard water in home. Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium

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or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumbing in home. Plumbing code or any other code inspection is NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection. All homes will need plumbing repairs (leaks, clogs, corrosion, upgrades, repairs, etc.) at any time in the life of the home. Plan and budget for these repairs and upgrades. Only a licensed plumber should make these repairs.

CONCERNS:

- 1. The plumbing vent in rear was too short on upper roof and plumbing vents for 1st floor not visible or accessible. Recommend having all plumbing vents evaluated with roof and plumbing to ensure proper venting for all bathrooms and kitchens. The home had deteriorated plumbing, patched, improper repairs, disrepair, cracked open sewer lines, cut off/broken pipes, damaged bathrooms (shower stall, toilets, fixtures, etc.), leaking, mixed plumbing drain sizes, improper drain & piping sizes, dissimilar materials, old plumbing (piping, valves, fittings, fixtures, etc.). Leaking plumbing, bathrooms and kitchens observed with water & mold-like damage. Flooring/subflooring was spongy and floor deflection/ damage observed; evaluate by a structural engineer (PE). The water heaters were old, corroded and in poor condition and not working. Recommend a licensed plumber evaluate water heater and boilers for replacement; do not use/dangerous. There was no hot water and no heat in the home at time of inspection. The home has vacant Unit II on 2nd & 3rd floors and bathroom was severely damaged; cracked toilet/shower, water damage, mold-like, concealed damage, etc. Recommend a building contractor and licensed plumber evaluate the home for gutting and upgrades everywhere (plumbing, electrical, roof, water & mold damage/spongy flooring, damaged structure, wood destroying insect damage, bathrooms, kitchens, etc.); uninhabitable condition.**



Figure 24 Examples of poor drainage in the home; backing up when water tested on fixtures.



Figure 25 Plumbing drain goes into the basement floor; unknown of in sewer line or under slab. Recommend further evaluation. There was unconventional/improper plumbing and cut off & open sewer drains in the home. Basement & crawl spaces had wet conditions, dirt and plants growing out of floors.







Figure 26 Unusable bathroom; need gutting, upgrades, plumbing & electrical in the home. Water damage, mold-like substances in the home. Recommend a mold contractor or environmental company evaluate all mold and asbestos and environmental substances; beyond the scope of a home inspection.







Figure 27 There was no hot water in the home at time of inspection. Water heaters and boilers were in poor/unsafe condition. Recommend a licensed plumber and boiler contractor evaluate all mechanicals for replacement. These must be replaced; dangerous condition.

HEATING**HEATING SYSTEM - UNIT #1**Location: **basement, not working or running- deteriorated/dangerous/unsafe**
(See remarks page)**BOILER SYSTEM** N/ABrand Name: **unknown**Approximate age: **past life- dangerous**Brand Name: **unknown**Approximate age: **past life- dangerous**Carbon Monoxide: N/A Detected at Plenum/Register Not testedCO Test: Yes NoCombustion Air Venting Present: Yes No N/AEnergy Source: Gas pipes taken apart- not workingDistribution: Hot water Baseboard- baseboards apart/missing coversCirculator: Pump Gravity Multiple zones

Controls: Temp/pressure gauge exist:

 Yes No

Operating:

 Yes NoOil Fired Units: Disconnect: Yes NoCombustion Air Venting Present: Yes No N/ARelief valve: Yes No MissingExtension proper: Yes NoOperated: When turned on by thermostat: Fired not tested- apart/uncovered- unsafeOperation: Satisfactory: Yes No

Recommend HVAC technician examine yearly, obtain township code inspections for Fire and HVAC sub codes prior to closing. The inspection is not required to determine heat supply adequacy or distribution balance for the home or building. Have an HVAC contractor or boiler contractor evaluate the adequacy and required size needed before closing.

Recommend a boiler contractor evaluate the home for heat/boilers before closing

OTHER SYSTEMS N/A Electric baseboard Radiant ceiling cable**GENERAL COMMENTS**

HEATING: There was an oil vent and filler on left side of the home. Recommend a property tank sweep and documentation for any removed tanks (permits, soil testing, etc.) as required by township. The two boilers were in poor condition, heavy corrosion, uncovered, holes, damaged and not running or not working; dangerous/unsafe. There were electric space heaters visible in the home while walking around; fire hazard. There was no heating, no gas/stove/water heater in the home. Heating, plumbing and other systems and components were in deteriorated conditions; uninhabitable. The chimney was patched and very old; tarred and leaking. Recommend a building contractor, roofer and boiler contractor/plumber evaluate the chimney for removal below roofline and replacement of boilers for sidewall or direct venting to exterior. There was asbestos like insulation on heating pipes in crawl or home. Recommend an asbestos contractor evaluate all asbestos like material and advise on removal. Asbestos should be removed where found for health reasons.

CONCERNS:

1. There was an oil vent and filler on left side of the home. Recommend a property tank sweep and documentation for any removed tanks (permits, soil testing, etc.) as required by township. The two boilers were in poor condition, heavy corrosion, uncovered, holes, damaged and not running or not working; dangerous/unsafe. There were electric space heaters visible in the home while walking around; fire hazard. There was no heating, no gas/stove/water heater in the home. Heating, plumbing and other systems and components were in deteriorated conditions; uninhabitable. The chimney was patched and very old; tarred and leaking. Recommend a building contractor, roofer and boiler contractor/plumber evaluate the chimney for removal below roofline and replacement of boilers for sidewall or direct venting to exterior. There was asbestos like insulation on heating pipes in crawl or home. Recommend an asbestos contractor evaluate all asbestos like material and advise on removal. Asbestos should be removed where found for health reasons.



Figure 28 Boilers unsafe not tested/part removed/apart; unsafe/not functioning.



Figure 29 Example of white asbestos-like insulation on heating pipes in the home.



COOLING

COOLING SYSTEM – UNIT #1 NO Central system Wall Unit Location: --- Age: ---- yrs.

Energy Source: Electric Gas Water Other

Unit Type: Air cooled Water cooled Gas chiller Geothermal Heat pump

Evaporator Coil: Satisfactory Not visible Needs cleaning Damaged

Refrigerant lines: *Leak* *Damage* *Insulation missing* Satisfactory

Condensate Line/Drain: To exterior To pump Floor drain Laundry sink Other

Temperature Differential : Unit 1 ??? °F Unit 2 ??? °F Unit 3 ??? °F Unit 4 ??? °F Unit 5 ??? °F

Difference in temperature (split) should be 15-22° Fahrenheit (*See remarks page*)

Compressor Condition: Satisfactory Marginal Poor Rusted Damaged

Operation: Satisfactory: Yes No *Not operated due to exterior temperature*

Recommend HVAC technician examine/clean/service yearly

Note: If present, through wall and window A/C units produce moisture and may potentially leak into interior walls and window openings. This moisture can cause damage to adjacent structural members. The damage is often not visible and can go undetected unless the A/C unit(s), wall coverings, flooring and siding are removed. Such removal is not feasible during a home inspection and therefore is limited or not possible to see inside of walls. Further investigation is always recommended to rule out water or condensation damage. Units should be removed periodically to inspect inside of walls.

GENERAL COMMENTS

COOLING : There was no central air conditioning in the home. A through wall A/C in 1st floor kitchen was running at time of inspection. The cut out was not insulated; gaps, daylight. Recommend a building contractor evaluate the through wall unit. Through wall and window A/C units produce moisture and may potentially leak into interior walls and window openings. This moisture can cause damage to adjacent structural members. The damage is often not visible and can go undetected unless the A/C unit(s), wall coverings, flooring and siding are removed. Such removal is not feasible during a home inspection and therefore is limited or not possible to see inside of walls. Further investigation is always recommended to rule out water or condensation damage. Units should be removed periodically to inspect inside of walls.

ELECTRICAL

MAIN PANEL Location: **basement (2); 1 garage** Condition: Poor
Adequate Clearance To Panel: Yes No Amperage: ~60 Volts 120/240 Breakers Fuses
Appears Grounded: Yes No Not visible
G.F.C.I. present: Yes No **Operative:** Yes No
A.F.C.I. present: Yes No **Operative:** Yes No
MAIN WIRE: Copper Aluminum Copper clad aluminum Tin clad copper Not visible
 Tapping before the main breaker *Double tapping of the main wire*
Condition: Satisfactory Poor **Federal Pacific Panel Stab Lok® (See remarks page)***
Predominant BRANCH WIRE: Copper Aluminum* Copper clad aluminum Not visible
Condition: Satisfactory Poor **Recommend electrician evaluate/repair***
 Romex BX cable Conduit **Knob & tube****
 Double tapping **Wires undersized/oversized breaker/fuse**
 Read **REMARKS** addendum to report- "tripping breakers"

SUB PANEL(S) None apparent Breakers Fuses

ELECTRICAL FIXTURES

A representative number of installed lighting fixtures, switches, and receptacles located inside the house, garage, and exterior walls were tested and found to be:

Condition: Satisfactory Marginal Poor Not accessible, clutter, furniture
 Open grounds Reverse polarity GFCIs not operating & not present
 Solid conductor aluminum branch wiring circuits* (See remarks page)
 Ungrounded 2-prong outlets
 Loose outlets/switches, painted over outlets, worn/broken/damaged, etc.
 Recommend electrician evaluate/repair & advise on electrical system upgrades everywhere*

GENERAL COMMENTS

ELECTRICAL: There were 3 electrical meters; two in basement and one on exterior of detached garage. There were scorch marks/discoloration insulation, excess exposed conductors on breaker connections, rust, sloppy wiring, and frayed cloth insulation in main panels. The garage meter, service drop and panel was in poor/unsafe condition; panel open and corroded out; unsafe. There was handyman/improper wiring/electrical installations, loose devices/cables/wires, knob & tube (K&T) remnants and possible live K&T, painted over outlets, cracked/damaged, missing covers, ungrounded, reversed polarity, missing GFCI outlets, inaccessible outlets, overloaded outlets/extension cords, space heaters used (no heat in home/fire hazard), etc. There were roof leaks and water coming through or around electrical light fixtures and wiring; shock hazard/dangerous. The home electrical upgrades/gutting everywhere; poorly maintained home and haphazard electrical, plumbing, repairs everywhere. Recommend a licensed electrician evaluate the homes service (panels/service drops/meters), electrical panel distribution, wiring, devices, fixtures, outlets, switches, power requirements, dedicated outlets, etc. and advise on costs for electrical upgrades everywhere. Shock hazards and potential fire hazards exist. The electrical service entry should have putty replaced whenever cracked to maintain water tight seals and avoid water entry into the electrical panel. Home needs electrical upgrades throughout home, garage and exterior; panels, electrical distribution/wiring, devices, fixtures, switches, lighting, etc. Each family has different electrical requirements or needs. If more power is needed, discuss needs with electrician and have added. Do not use extension cords, multiplier adapters or power strips to add more power; fir safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Items such a sump pumps, garage door openers, A/C units, stoves refrigerators or other heavy draw appliances should be on separate dedicated circuits.

CONCERNS:

1. There were 3 electrical meters; two in basement and one on exterior of detached garage. There were scorch marks/discoloration insulation, excess exposed conductors on breaker connections, rust, sloppy wiring, and frayed cloth insulation in main panels. The garage meter, service drop and panel was in poor/unsafe condition; panel open and corroded out; unsafe. There was handyman/improper wiring/electrical installations, loose devices/cables/wires, knob & tube (K&T) remnants and possible live K&T, painted over outlets, cracked/damaged, missing covers, ungrounded, reversed polarity, missing GFCI outlets, inaccessible outlets, overloaded outlets/extension cords, space heaters used (no heat in home/fire hazard), etc. There were roof leaks and water coming through or around electrical light fixtures and wiring; shock hazard/dangerous. The home electrical upgrades/gutting everywhere; poorly maintained home and haphazard electrical, plumbing, repairs everywhere. Recommend a licensed electrician evaluate the homes service (panels/service drops/meters), electrical panel distribution, wiring, devices, fixtures, outlets, switches, power requirements, dedicated outlets, etc. and advise on costs for electrical upgrades everywhere. Shock hazards and potential fire hazards exist.



Figure 30 Examples of electrical concerns. See garage section comments.

SUMMARY

Repairs are recommended for any comments or defects that are stated in this report. Every home must be maintained and will require repairs. Problems will occur and things will break. This report is designed to help reduce the possibility, but will not eliminate them from happening. Issues can and will arise at any time. budget accordingly. Recommend checking with local authorities for permits on additions and alterations. ***Please be advised that it is important to read the entire report and the remarks pages that are sent separately to the client. These remarks pages contain important maintenance information that the client needs to be aware of.*** All homes will need repairs, routine maintenance and upgrades over the course of its life. Addressing plumbing, heating, electrical and other mechanical problems or issues as they occur, with qualified contractors, should be done to keep home maintained properly. Older homes will often require structural upgrades when renovations are made. These will be dictated by the engineer and or architect designing the renovation or modification to bring structure up to current building practices and township specifications. It is recommended to obtain township permits for history of home. Recommend a "Home Warranty." Roof leaks are number one cause of water damage to interior of home. Damage can often be concealed inside walls of interior and often revealed either when renovations are done or when water issue is ongoing for a period of time. Water damage can include structural as well as environmental manifestations such as mold and mildew among others. All roofs should be inspected yearly, gutters cleaned several times a year. These systems must be maintained to provided a water tight cladding to protect the home. Often a damage found does not necessarily correspond to the roof directly above, but at some other part of the roof. Water can travel below the surfaces of roof and end up in any number of places that are hidden or concealed. A general visual home inspection cannot open up walls, ceilings, flooring or guess what is behind them. This uncertainty is always possible when roof, flashing, siding and all exterior systems are not maintained.

"If there is anything in the report that you do not understand you must contact us promptly prior to closing. If not addressed, any ignored item(s), misunderstood or overlooked as to their importance and implication(s,) can and frequently do, result in negative outcome and incur costs to repair or replace." Please read REMARKS addendum as it is part of the report and contains important information. Any areas reported as inaccessible and not inspected or evaluated must be made accessible and inspected prior to the closing.

All items must be addressed and repaired prior to closing.

* Items listed in this report may inadvertently have been left off the Summary Sheet. Customer should read the entire report, including the Remarks. Boxed area may have been checked or unchecked inadvertently- written comments are most important and purposely written into report which may not reflect boxed area checked.